

5 RYNAN AVENUE, EDMONDSON PARK

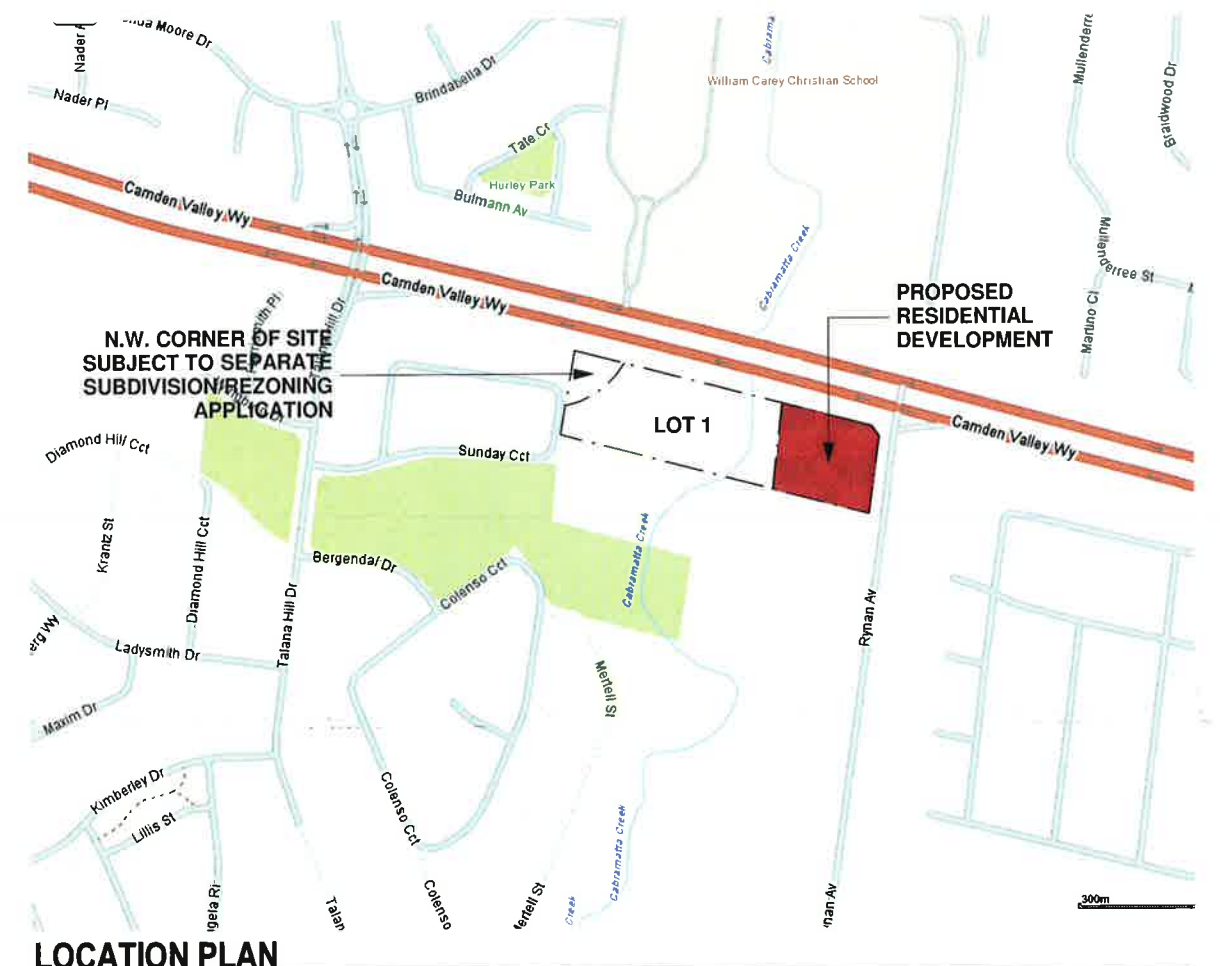
DRAWING LIST

Drg No.	Title	Revision	Drg No.	Title	Revision
A-0000	COVER SHEET & LOCATION PLAN	H	A-3102	ELEVATIONS - BUILDING A 2/3	G
A-1000	BASIX COMMITMENTS 1/2	C	A-3103	ELEVATIONS-BUILDING A 3/3	G
A-1001	BASIX COMMITMENTS 2/2	C	A-3104	ELEVATIONS - BUILDINGS B & C 1/2	H
A-1002	BUILDING A - GROSS FLOOR AREA	G	A-3105	ELEVATIONS - BUILDINGS B & C 2/2	H
A-1003	BUILDING B & C -GROSS FLOOR AREA	H	A-4101	SECTION A-A & B-B	H
A-1100	DEVELOPMENT STATISTICS	H	A-4102	SECTION C-C & D-D	G
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A-1102	SITE SURVEY / DEMOLITION PLAN	G	A-5101	DAYLIGHT ANALYSIS	C
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A-2106	LEVEL 4 FLOOR PLAN	H	A-8101	CROSS VENTILATION	H
A-2107	ROOF PLAN	H	A-8102	CROSS VENTILATION	H
A-2108	BUILDING A - GROUND FLOOR	H	A-9101	STREETSCAPE ELEVATIONS	H
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A-2110	BUILDING A - TYPICAL FLOOR	G	A-11101	NOTIFICATION PLANS	D
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A-3101	ELEVATIONS - BUILDING A 1/3	G	A-12101	EXTERNAL COLOURS & FINISHES	G
			SP01	SITE PLAN - SUBDIVISION	H

DEVELOPMENT APPLICATION (AMENDED)



PHOTOMONTAGE - VIEW OF THE PROPOSED DEVELOPMENT FROM RYNAN AVE.
N.T.S.



LOCATION PLAN
N.T.S.

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Date	Description	No.
1/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/05/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK	DRAWN J.F.	PROJECT NO. 13-23665
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. 10/10/2014 10/10/2014 A/CN 100/10/2014 432 KENT STREET SYDNEY NSW 2000	DATE PLOTTED 13/03/15	SCALE @A1 DOUBLE FOR A3	DRAWING NO. / REV A-0000 H

SCHEDULE OF BASIX COMMITMENTS

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building A

(a) Dwellings

(i) Water	Show on DA plans
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table)	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓
(g) The pool or spa must be located as specified in the table	✓
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off of the area specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓

(ii) Energy	Show on DA plans
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	

(ii) Energy	Show on DA plans
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔

(iii) Thermal Comfort	Show on OA plane
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(g) Where there is an in-slab heating or cooling system, the applicant must:

- (a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
- (b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab

(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below:	
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(b) Common areas and central systems/facilities

(f) Water	Show on DA plans
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✔

(ii) Energy	Show on DA plan
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓

2. Commitments for Residential flat buildings - Building B

(a) **Dwellings**

(f) Water	Show on DA plans
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓
(c) The applicant must not install a private swimming pool or spa for the dwelling with a volume exceeding that specified for it in the table below.	✓
(g) The pool or spa must be located as specified in the table.	✓
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓

(ii) Energy	Show on DA plans
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	
	✓

(ii) Energy	Show on DA plans
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, not ducted	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

(ii) Thermal Comfort	Show on DA plans
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(g) Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
- (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓

(ii) Energy	Show on DA plans
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓

3. Commitments for Residential flat buildings - Building C

(a) Dwellings

(f) Water	Show on DA plans
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:	
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓
(c) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓

SCHEDULE OF BASIX COMMITMENTS

(iii) Thermal Comfort	Show on DA plans
(g) Where there is an in-slab heating or cooling system, the applicant must:	
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓
(b) Common areas and central systems/facilities	
(i) Water	Show on DA plans
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓
(ii) Energy	Show on DA plans
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓

3. Commitments for Residential flat buildings - Building C

(a) Dwellings

(i) Water	Show on DA plans
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	

(g) The pool or spa must be located as specified in the table.	✓
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓

(ii) Energy	Show on DA plans
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.	

(iii) Energy	Show on DA plans
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	

(iii) Thermal Comfort	Show on DA plans
(g) Where there is an in-slab heating or cooling system, the applicant must:	
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.	
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.	
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.	

(ii) Energy	Show on
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓

6. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	
(ii) Energy	Show on DA plans

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓
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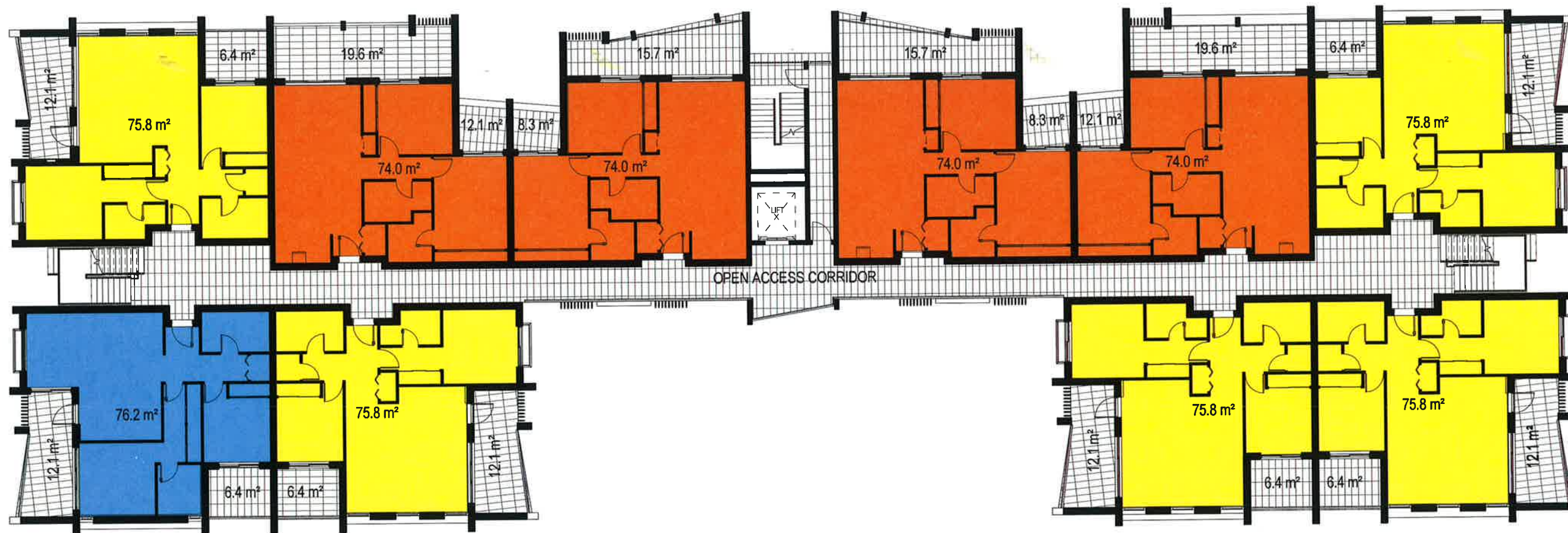
Date	Description	No.
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	A
26/09/2014	ISSUED FOR DA	B
12/03/2015	AMENDED DA	C

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT	KMT CONSTRUCTIONS Pty Ltd
ARCHITECT	JOSHUA FARKASH & ASSOCIATES PTY. LTD. ABN 18 050 645 095 A.C.N. 050 645 095 LEVEL 4 432 KENT STREET SYDNEY NSW 2000 TEL: (02) 9264 5155 FAX: (02) 9264 5166 EMAIL: arch@jfa.com.au

PROJECT	PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK
DRAWING TITLE	BASIX COMMITMENTS 2/2

DRAWN	DAWN K.A.	PROJECT NO.	13-23665
DATE PLOTTED	08/07/14	SCALE @A1	DOUBLE FOR A3
DRAWING NO./REV.	A-1001	C	



1 BUILDING A - TYPICAL FLOOR_FSR
1:100

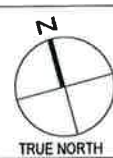
BLOCK A - GROSS FLOOR AREA

GROUND FLOOR	751.4 m ²
LEVEL 1	751.4 m ²
LEVEL 2	751.4 m ²
LEVEL 3	751.4 m ²
LEVEL 4	751.4 m ²

TOTAL GROSS FLOOR AREA 3,757.0 m²

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
18/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G



5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

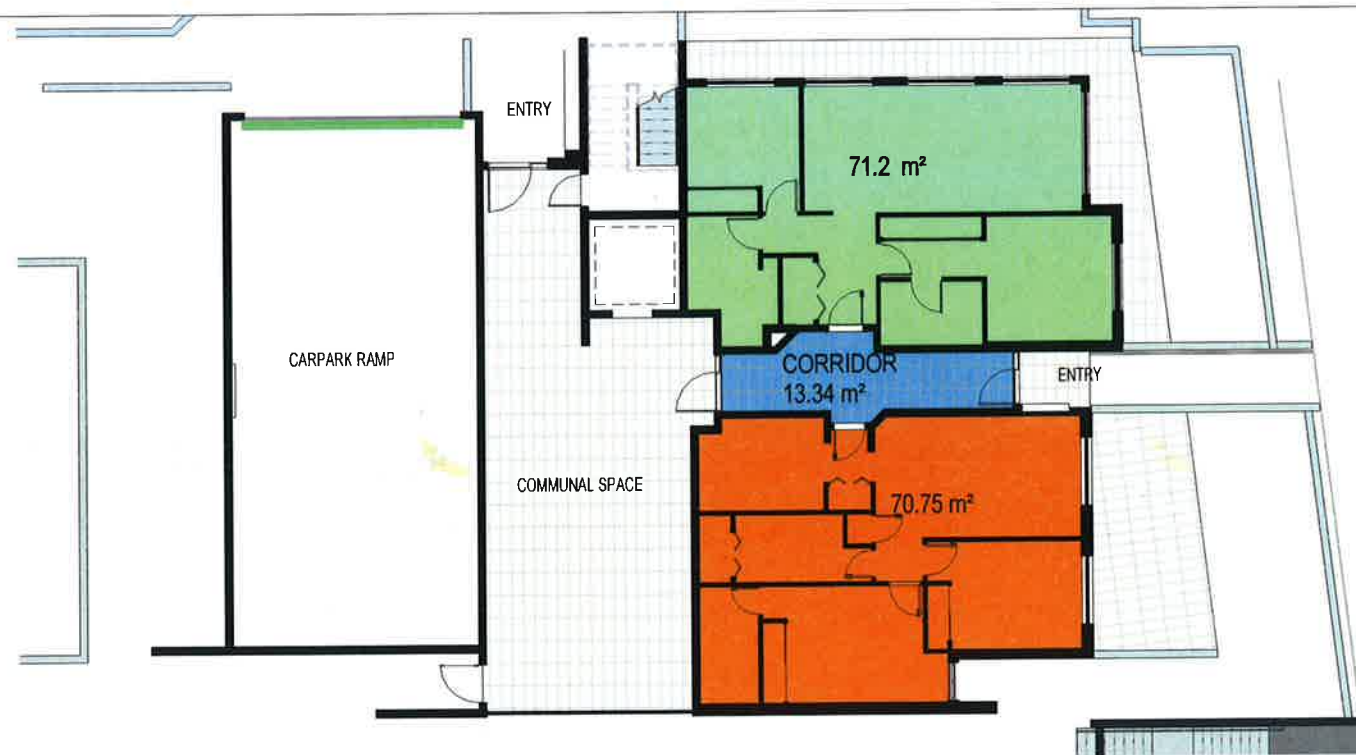
CLIENT
KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
BUILDING A - GROSS FLOOR AREA

CHD JF	DRAWN ML	PROJECT No. 13-23665
DATE PLOTTED 02/10/15	SCALE @A1 1:100 DOUBLE FOR A3	DRAWING No. / Rev A-1002 G



1 GROUND FLOOR BLDG B - FLOOR AREAS
1:100



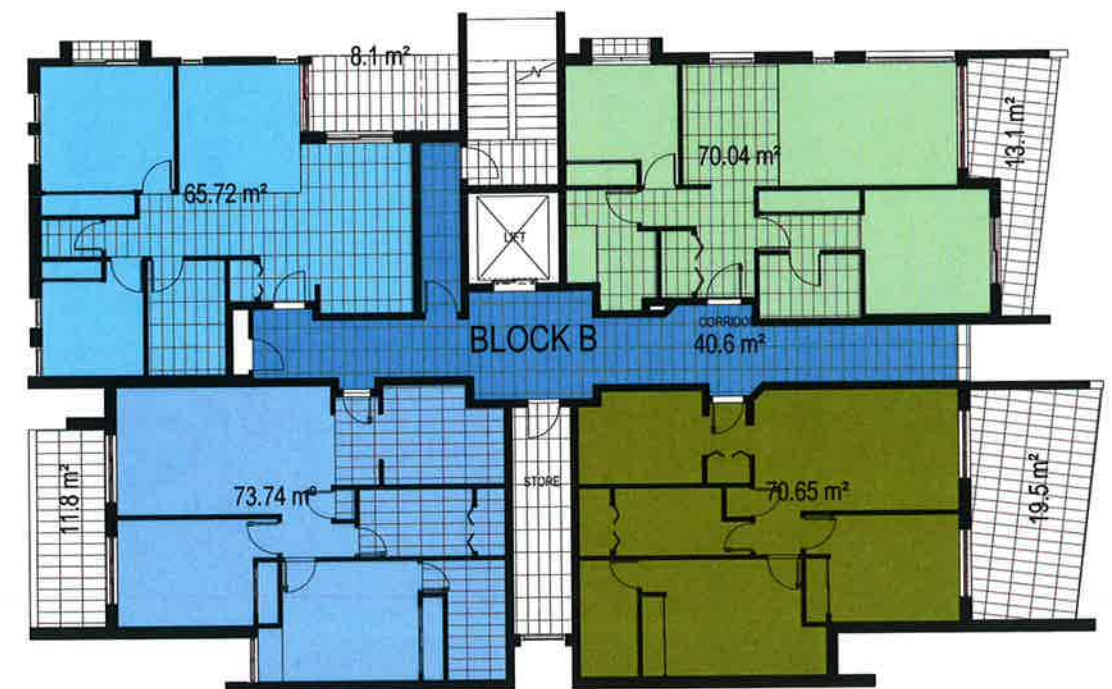
2 LEVEL 4 - BUILDING B - FLOOR AREAS
1:100



3 LEVELS GROUND FLOOR, 1, 2 & 3 BUILDING C - FLOOR AREAS
1:100

BLOCK C - GROSS FLOOR AREA	
GROUND FLOOR	317.97 m ²
LEVEL 1	317.97 m ²
LEVEL 2	317.97 m ²
LEVEL 3	317.97 m ²

TOTAL GROSS FLOOR AREA 1,271.88 m²



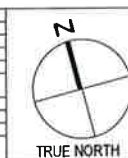
4 LEVELS 1, 2 & 3 BUILDING B - FLOOR AREAS
1:100

BLOCK B - GROSS FLOOR AREA	
GROUND FLOOR	155.29 m ²
LEVEL 1	320.75 m ²
LEVEL 2	320.75 m ²
LEVEL 3	320.75 m ²
LEVEL 4	169.6 m ²

TOTAL GROSS FLOOR AREA 1,287.14 m²

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12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd
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PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
BUILDING B & C - GROSS FLOOR AREA

CHKD JF	DRAWN GN	PROJECT No. 13-23665
DATE PLOTTED 02/10/15		SCALE (A1) 1:100 DOUBLE FOR A3
DRAWING No. / Rev A-1003		H

C:\Users\jfa\Documents\13-23665_5-Ryan-Ave-DA-Amend2.dwg 13/07/2015 12:33:57 PM

1.0	BUILDABLE SITE AREA =	6,610.72m ²
2.0	FLOOR SPACE	
	BUILDING A	3,757.0 m ²
	BUILDING B	1,287.14 m ²
	BUILDING C	1,271.88 m ²
	TOTAL FLOOR SPACE	6,316.02 m ²
2.0	ALLOWABLE FLOOR SPACE RATIO	1:1
	ALLOWABLE GFA =	6,610.72 m ²
	PROPOSED TOTAL GFA =	6,316.02 m ² (Buildings A + B + C)
	PROPOSED FSR	0.95:1

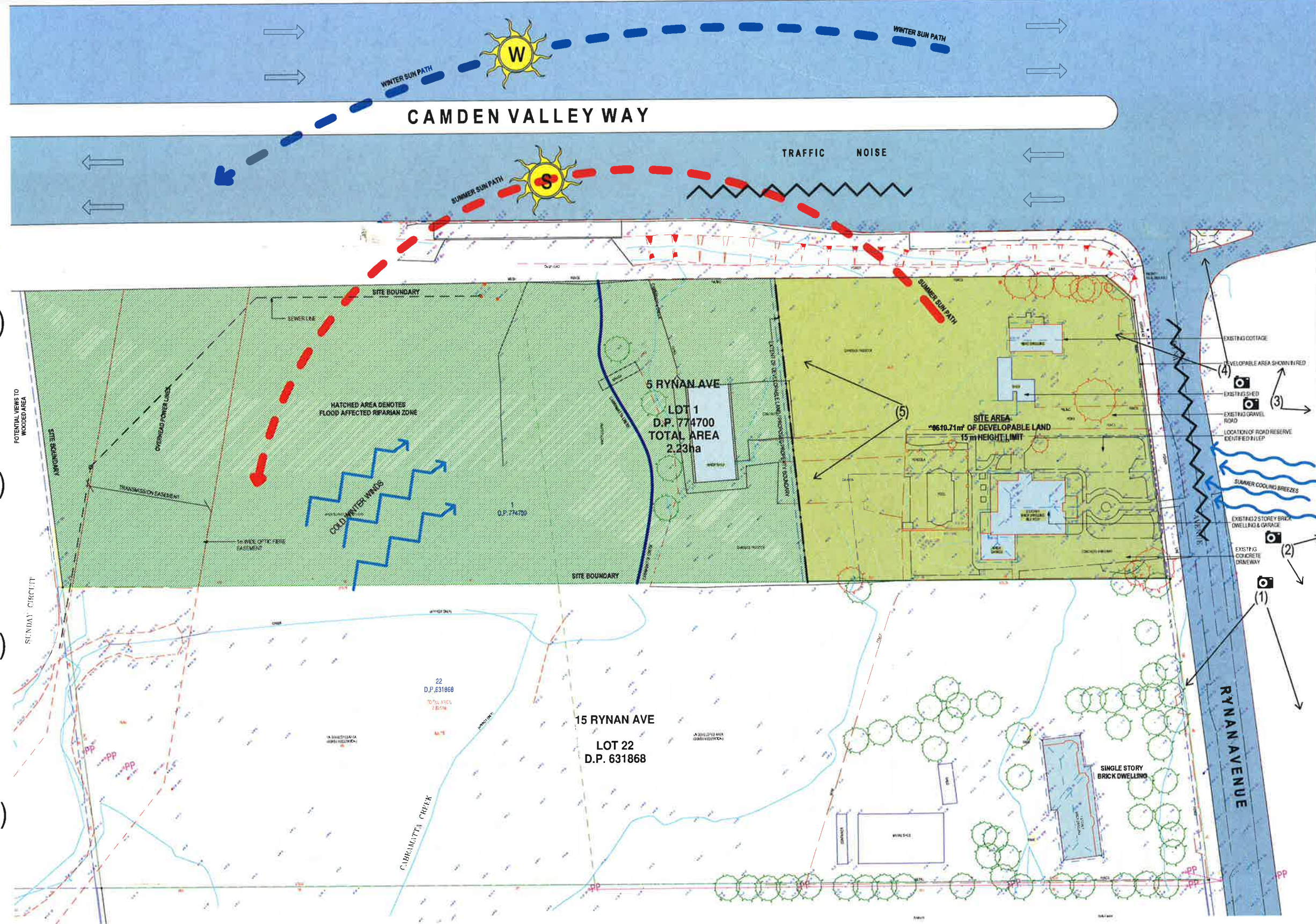
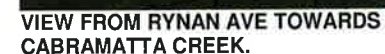
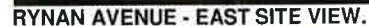
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KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
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CHD JF	DRAWN K.A.	PROJECT No. 13-23665
DATE PLOTTED 23/07/2014		SCALE @A1 DOUBLE FOR A3
DRAWING No. / Rev.		
A-1100		H

13072015 12 33 54 PM



5 RYNAN AVENUE
EDMONDSON PARK , NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

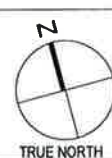
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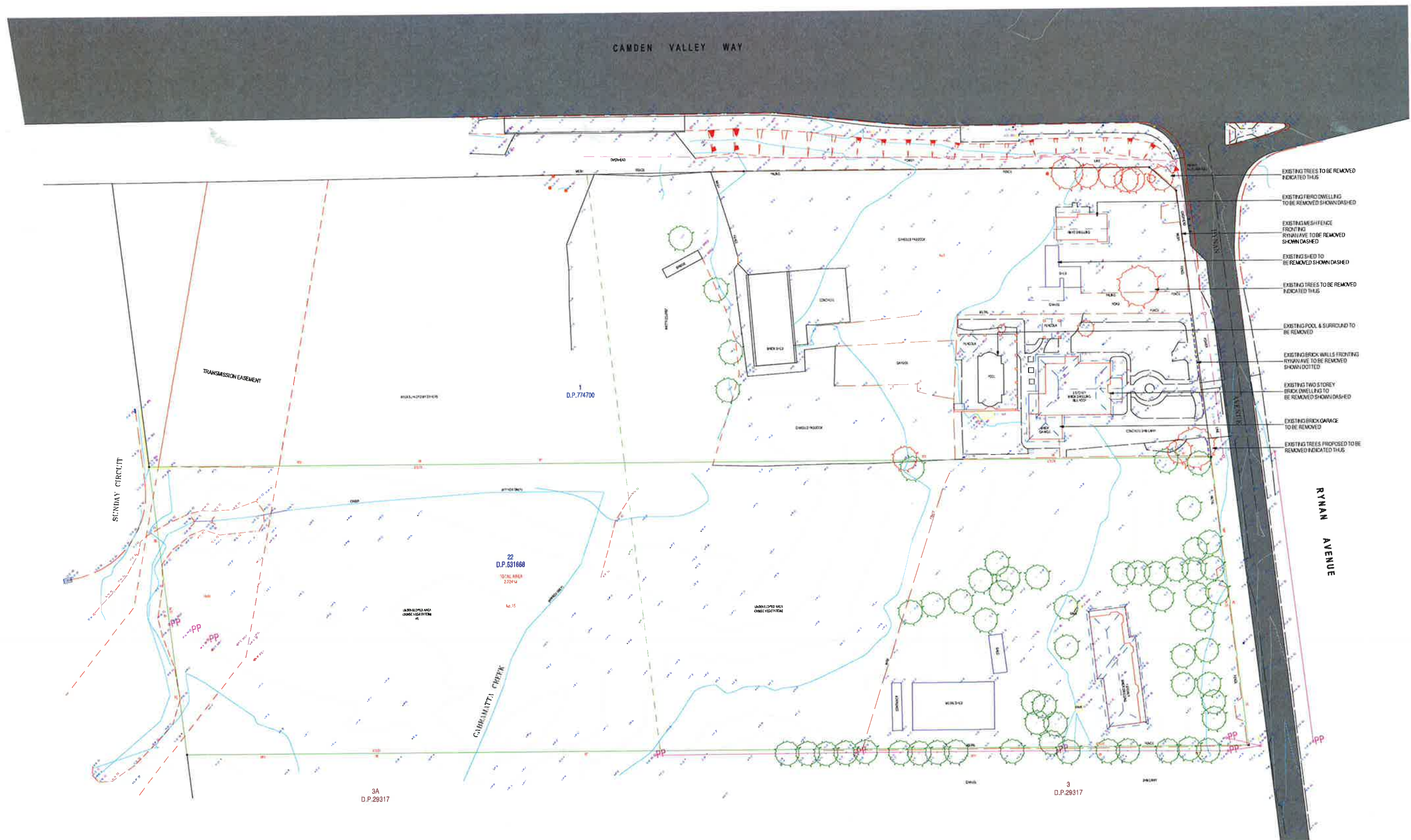
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PROJECT	PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK
DRAWING TITLE	SITE ANALYSIS

CHK'D JF	DRAWN K.A.	PROJECT No. 13-23665
DATE PLOTTED 07/10/2014		SCALE @A1 1 500 DOUBLE FOR A3
DRAWING No. / Rev. A-1101		

Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/14	PRELIMINARY ISSUE	B
16/07/14	PRELIMINARY ISSUE	C
22/07/14	PRELIMINARY ISSUE	D
28/07/14	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	E
26/09/14	ISSUED FOR DA	F
12/03/15	AMENDED DA	G





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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	E
26/08/2014	ISSUED FOR GA	F
12/03/2015	AMENDED DA	G



**5 RYMAN AVENUE
EDMONDSON PARK, NSW**
MULTI-UNIT RESIDENTIAL DEVELOPMENT

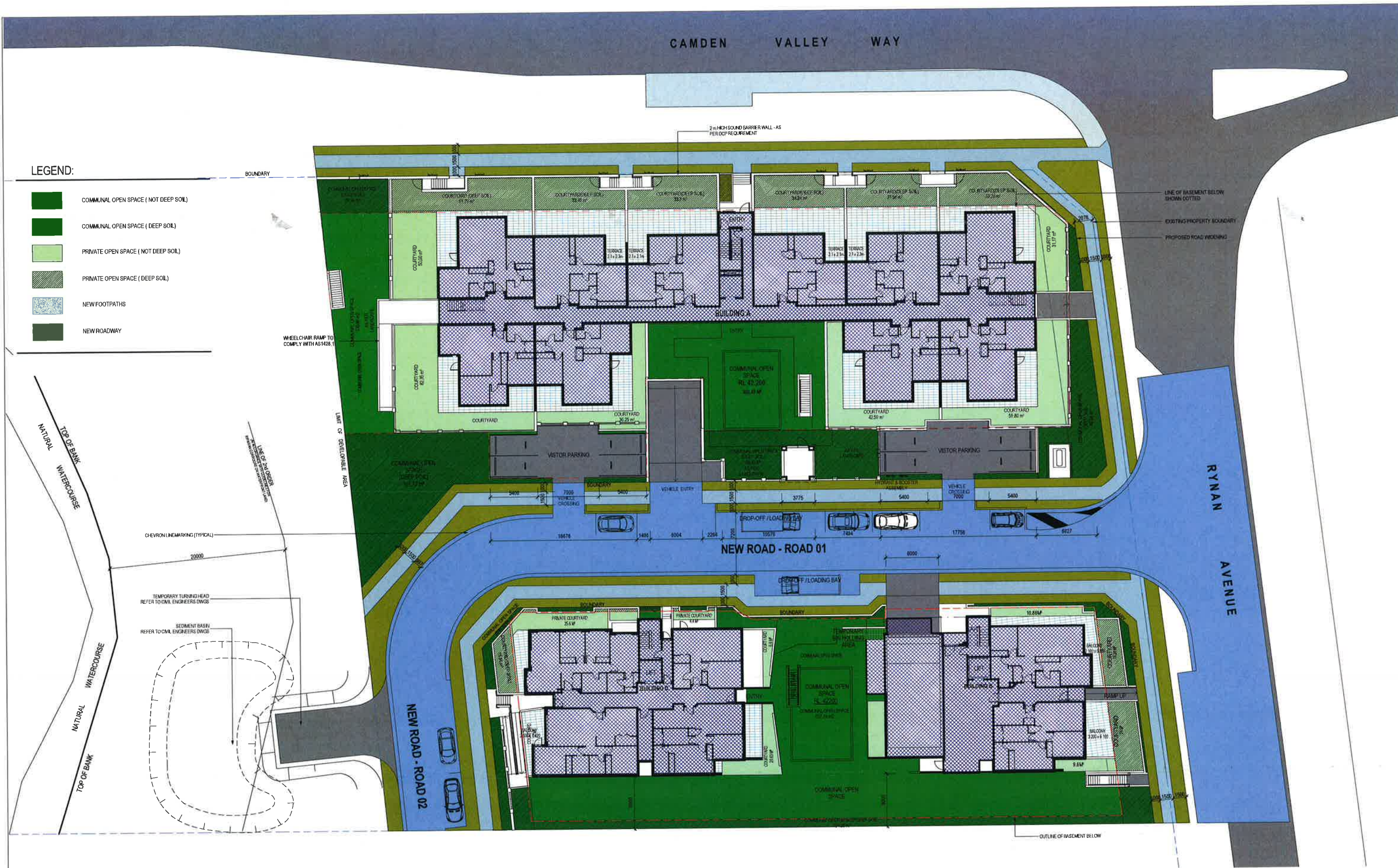
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PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
SITE SURVEY / DEMOLITION PLAN

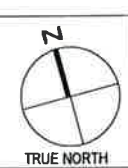
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JF	K.A.	13-23665
DATE PLOTTED	SCALE	DATE
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DRAWING No. / Rev.		DOUBLE FOR AS
A-1102		G



1 SITE PLAN
1:200

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Date	Description	No.
4/6/2014	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIS COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H
10/07/2015	DEEP SOIL AREA UPDATED	I



5 RYMAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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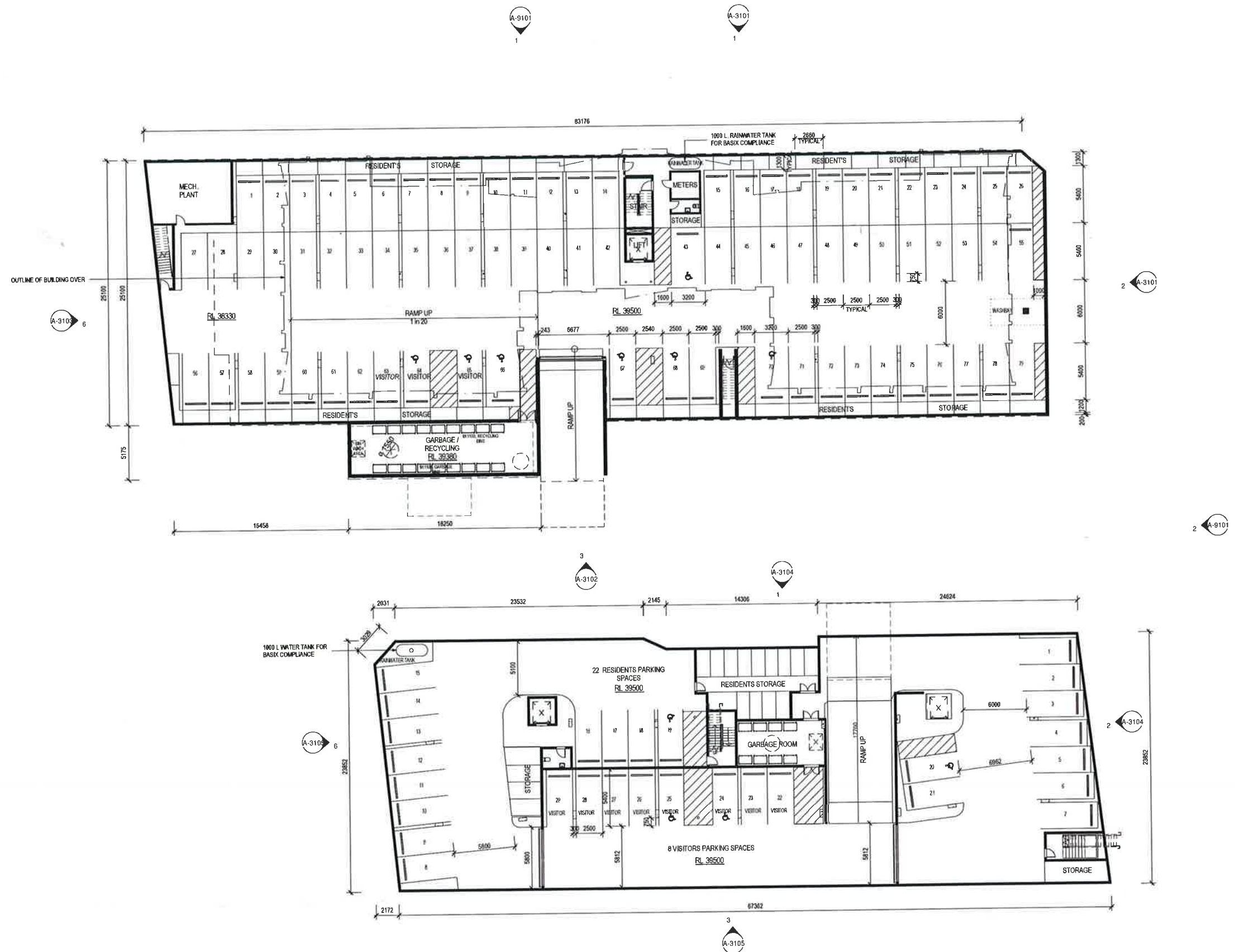
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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
SITE PLAN

CHD JF	DRW ML	PROJECT NO. 13-23665
DATE PLOTTED 07/10/2014		SCALE @A1 1:200 DOUBLE FOR A3
DRAWING No / Rev.		A-1103 / 1

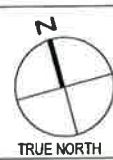
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1 BASEMENT PLAN
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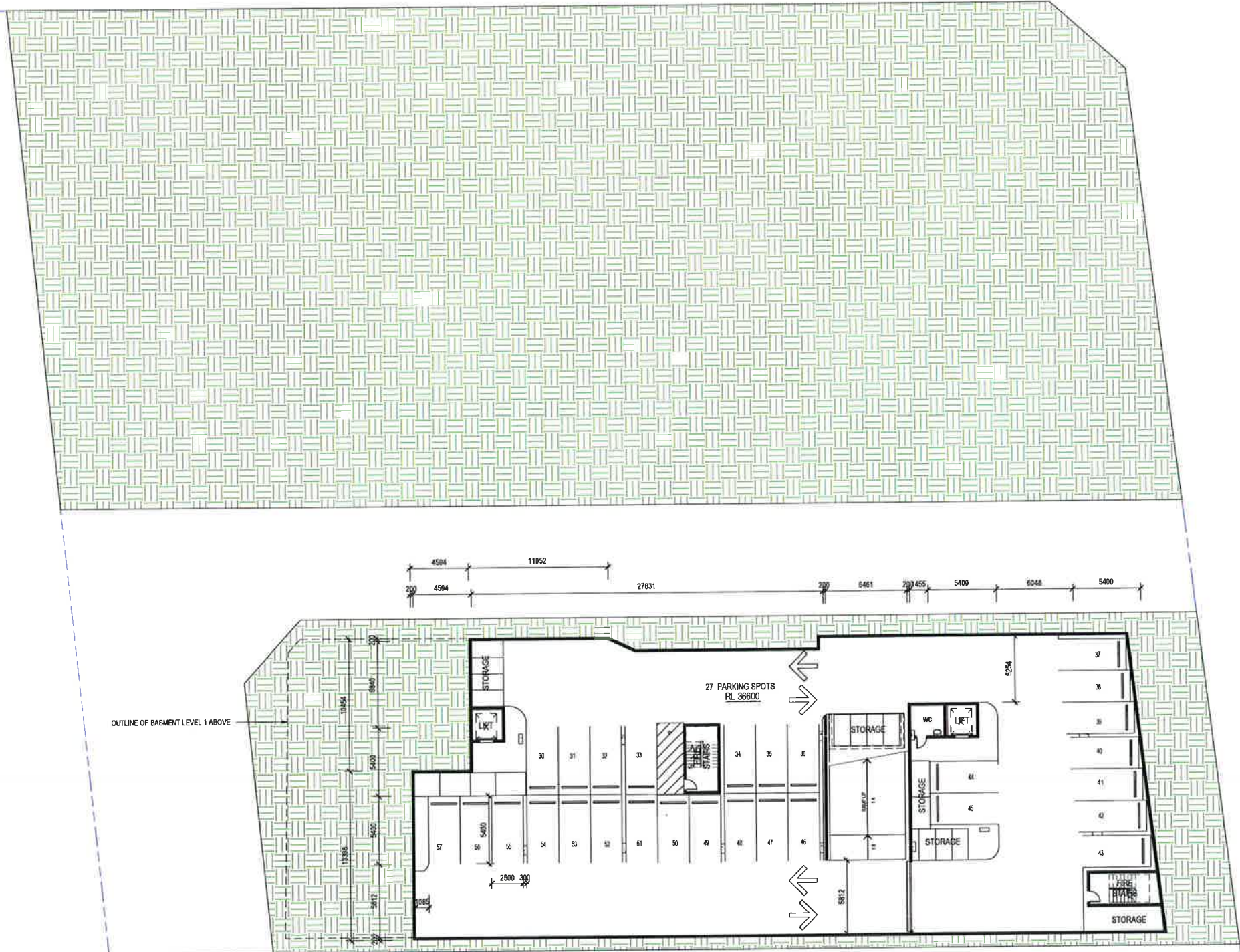
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4/9/2014	PRELIMINARY ISSUE	A
11/9/2014	PRELIMINARY ISSUE	B
16/9/2014	PRELIMINARY ISSUE	C
22/9/2014	PRELIMINARY ISSUE	D
28/9/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
25/10/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G



5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYAN AVENUE, EDMONDSON PARK	DRAWN JF	PROJECT No 13-23665
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. ABN 19 050 046 095 A.C.N. 950 046 095 LEVEL 4 6 ROBERT STREET SYDNEY NSW 2000 TEL: (02) 9264 5155 FAX: (02) 9264 5166 EMAIL: info@joshua-farkash.com.au	DRAWING TITLE BASEMENT FLOOR PLAN - LEVEL B1	DATE PLOTTED 07/10/2014	SCALE @A1 1:200 DOUBLE FOR A3
		DRAWING No / Rev.	A-2101 G



1 BASEMENT 2
1:200

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Date	Description	No.
4/6/11	PRELIMINARY ISSUE	A
11/8/2014	PRELIMINARY ISSUE	B
16/9/2014	PRELIMINARY ISSUE	C
22/9/2014	PRELIMINARY ISSUE	D
28/9/2014	GENERAL REVISION FOR ACCESS, BCA & BASIS COMPLIANCE	E
26/06/2014	ISSUED FOR DA	F
12/05/2015	AMENDED DA	G



5 RYMAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

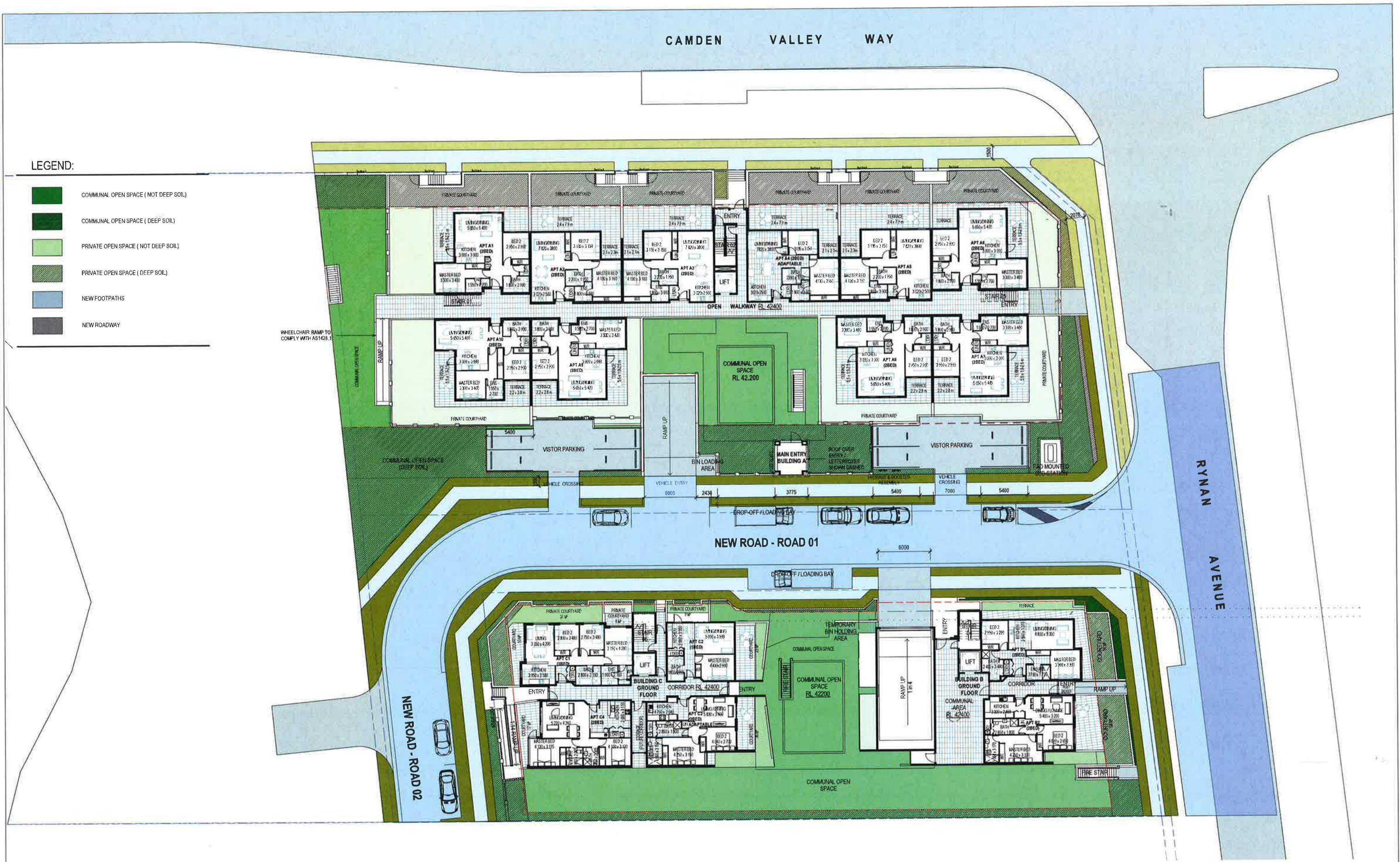
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PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
BASEMENT FLOOR PLAN - LEVEL B2

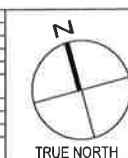
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JF	ML	13-23665
DATE PLOTTED	SCALE	SCALE
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DRAWING No / Rev.	A-2101/Ag	



1 GROUND FLOOR
1:200

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18/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



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EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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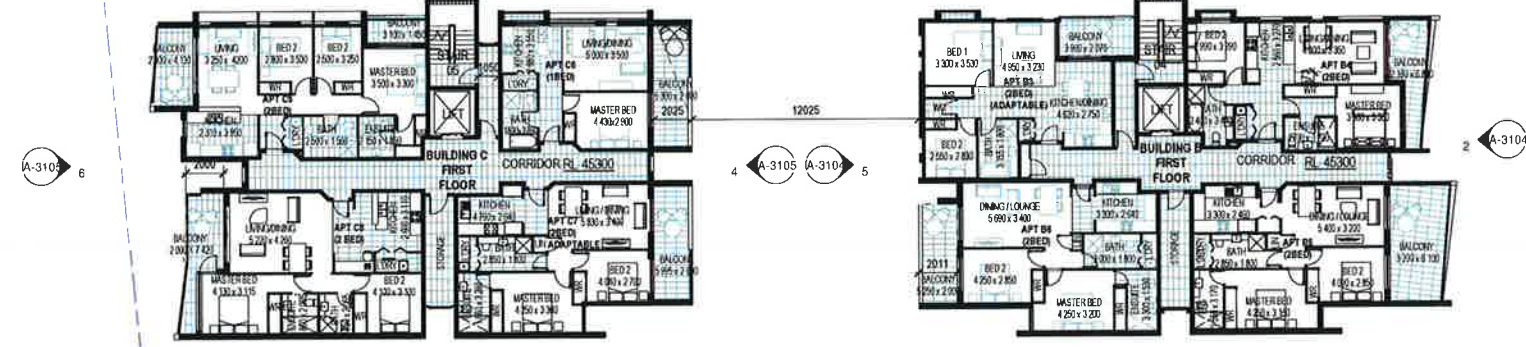
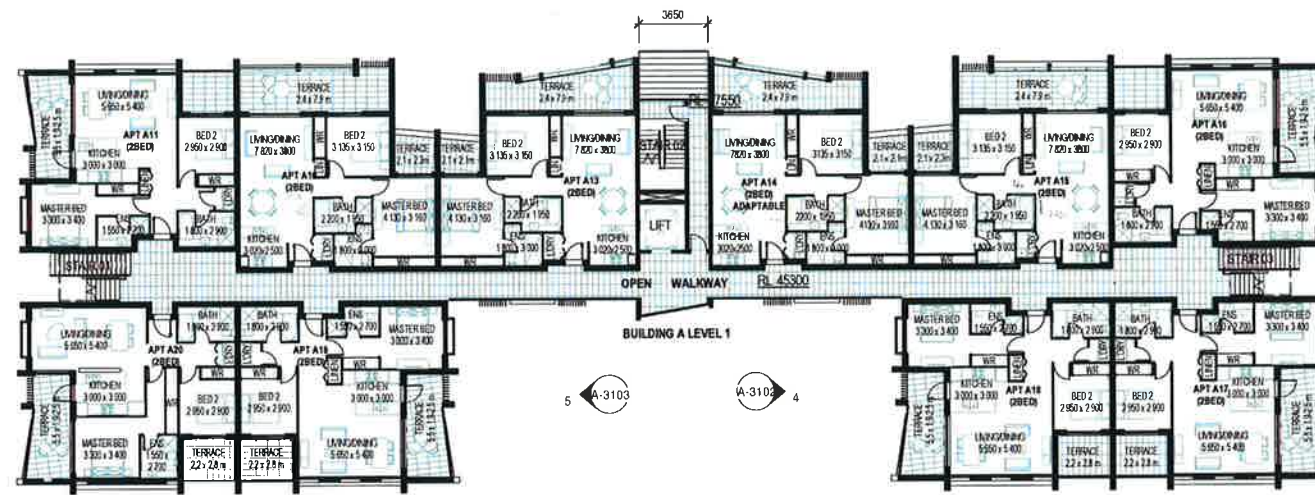
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DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK

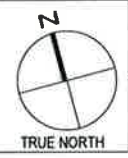
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GROUND FLOOR PLAN

CHKD	DRAWN	PROJECT No.
JF	K.A.	13-23665
DATE PLOTTED	SCALE	DOUBLE FOR A3
07/10/2014	1:200	DOUBLE FOR A3
DRAWING No. / Rev		
A-2102	H	

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1 LEVEL 1
1:200



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4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIS COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK

DRAWING TITLE
LEVEL 1 FLOOR PLAN

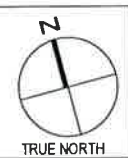
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PROJECT No.
13-23665

DATE PLOTTED
07/10/2014

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1 LEVEL 2
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4/07/14	PRELIMINARY ISSUE	A
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22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/09/2014	ISSUED FOR GA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

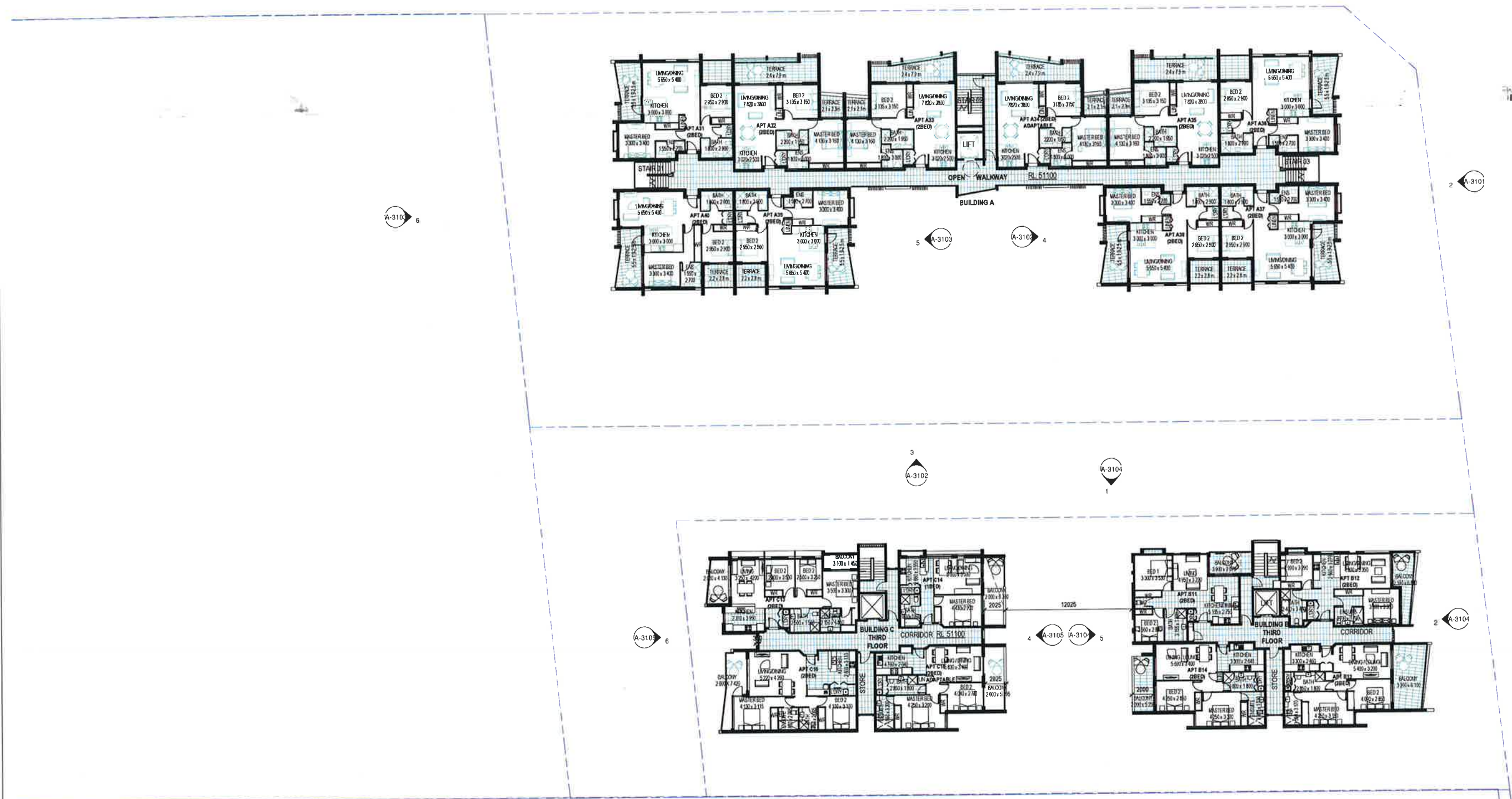
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DEVELOPMENT AT 5 RYNAN AVENUE,
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DRAWING TITLE
LEVEL 2 FLOOR PLAN

DATE PLOTTED	SCALE @A1	PROJECT No.
07/10/2014	1:200 (DOUBLE FOR A1)	13-23665
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A-2104		H



1 LEVEL 3
1:200

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Date	Description	No.
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11/07/2014	PRELIMINARY ISSUE	B
18/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
25/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
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06/07/2015	FOOTPATH AMENDED	H



5 RYMAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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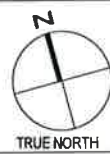
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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
LEVEL 3 FLOOR PLAN

CHK'D
JF
DATE PLOTTED
07/10/2014
DRAWING 10 / Rev.
A-2105 H
PROJECT NO.
13-23665
SCALE @A1
1:200
DOUBLE FOR A3

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Date	Description	No.
4/9/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



1 LEVEL 4
1:200

5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

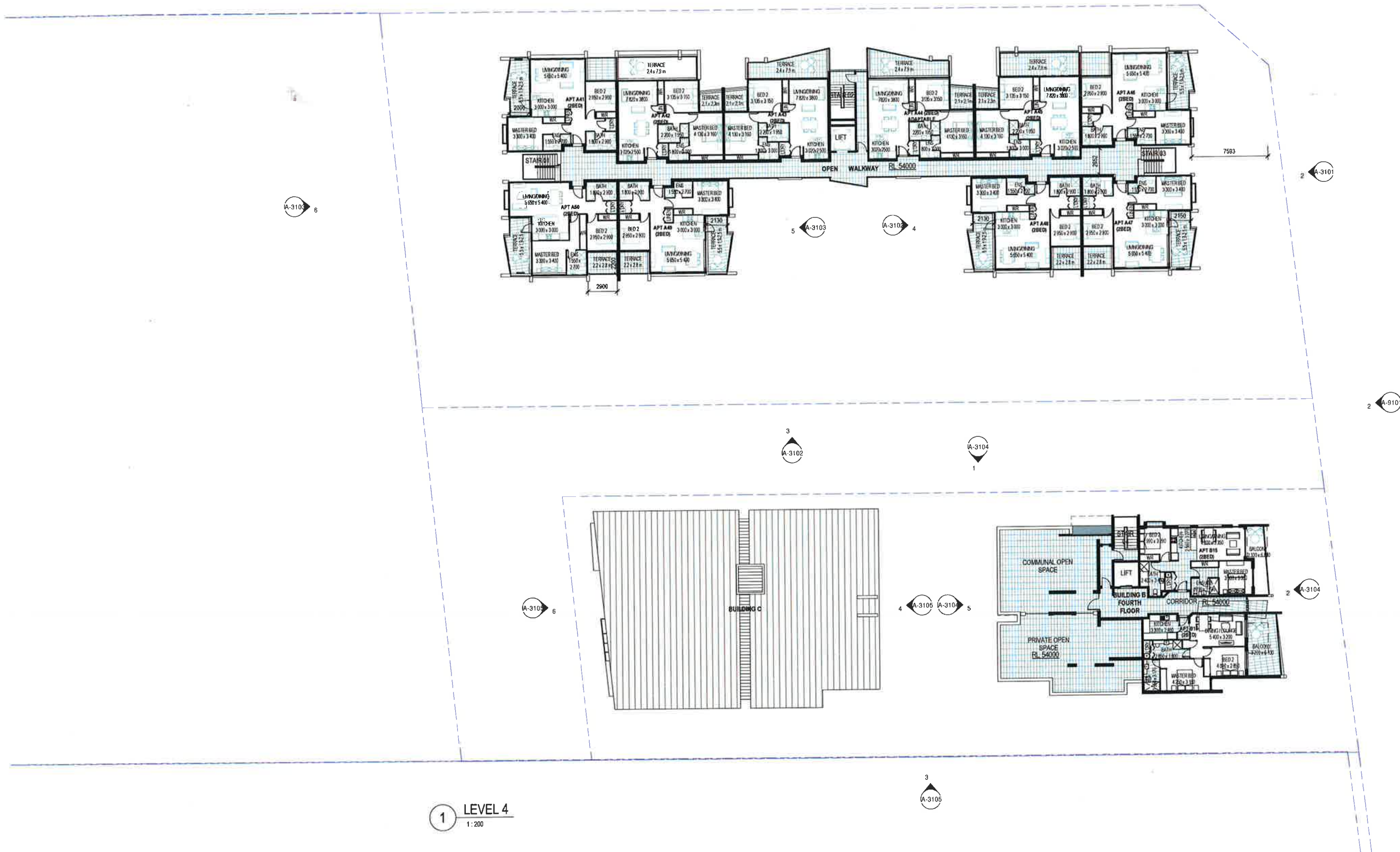
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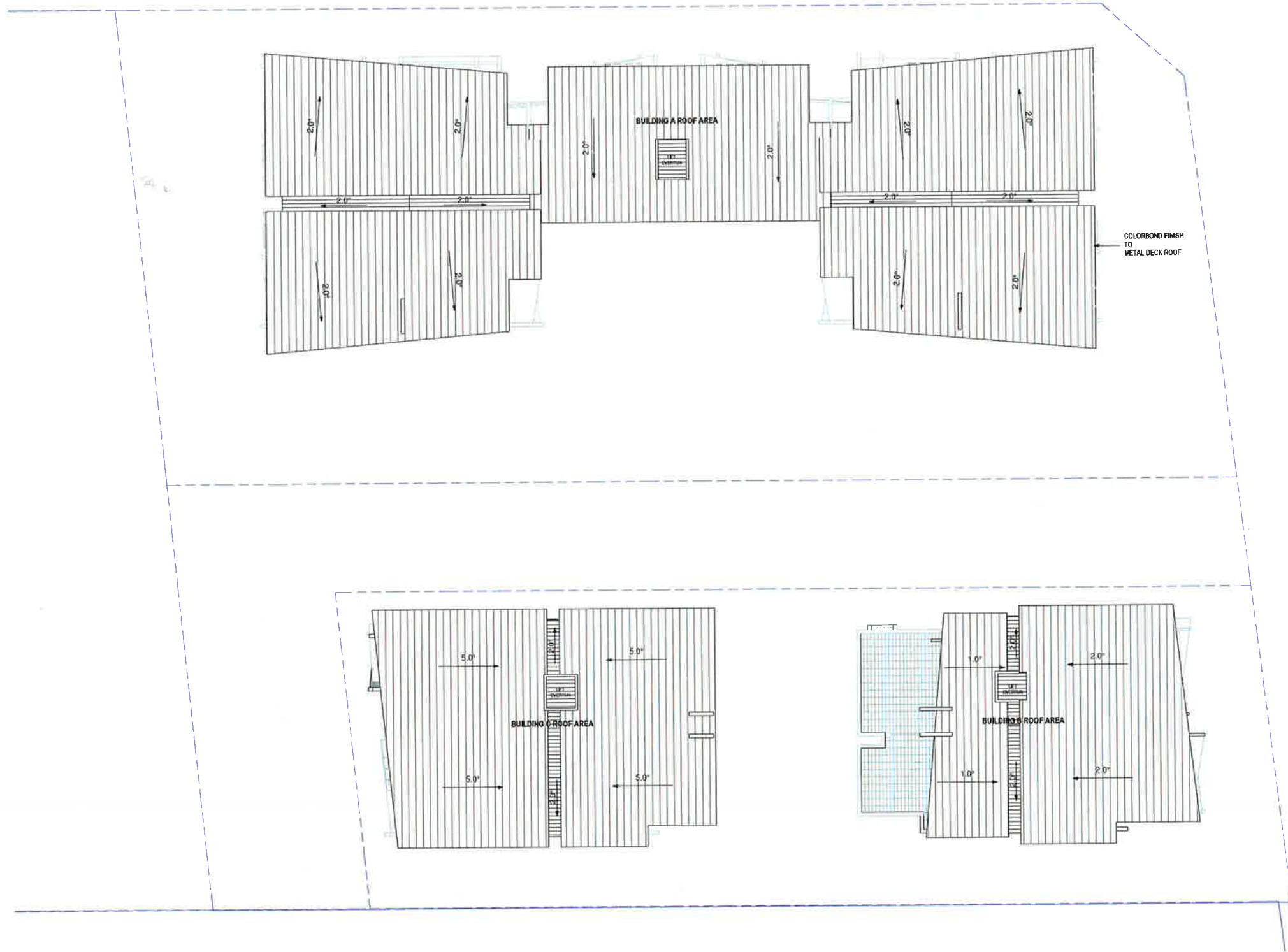
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
LEVEL 4 FLOOR PLAN

DATE PLOTTED 07/10/2014	SCALE @A1 1:200 (SQUARE FOR A3)
DRAWING No / Rev A-2106 H	PROJECT No. 13-23665

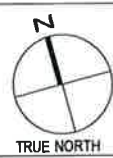




1 ROOF PLAN
1:200

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4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
18/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



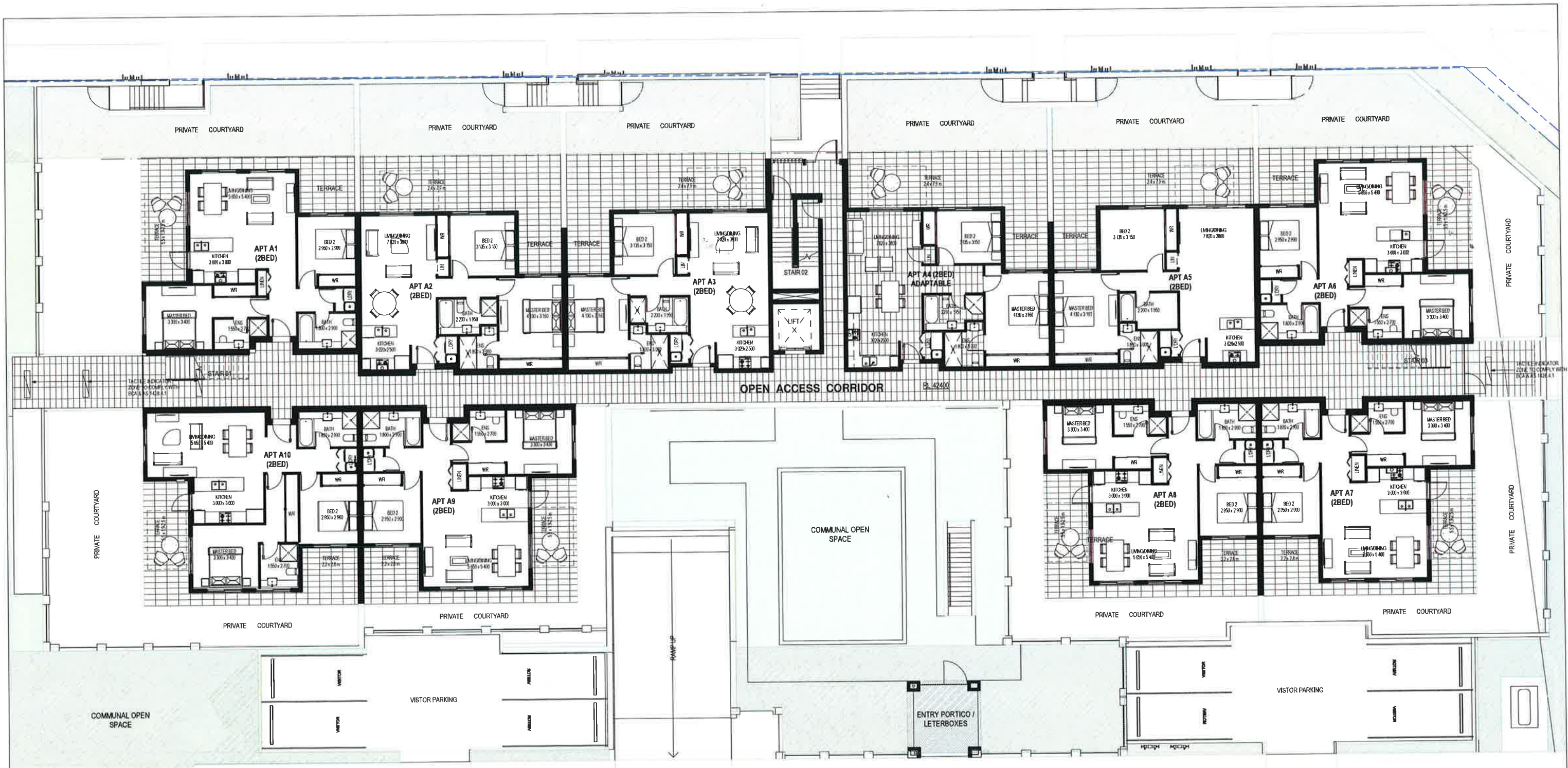
5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
401/15 255-446-300 A.C.N. 955 446 295
LEVEL 4
432 KENT STREET
SYDNEY NSW 2000
TEL: (02) 9254 5155
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EMAIL: arch@jfa.com.au

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
ROOF PLAN

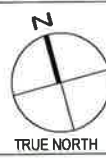
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DATE PLOTTED 07/10/2014	SCALE @A1 1:200	DOUBLE FOR A3
DRAWING No. / Rev.		A-2107 H



1 GROUND FLOOR - BUILDING A
1:100

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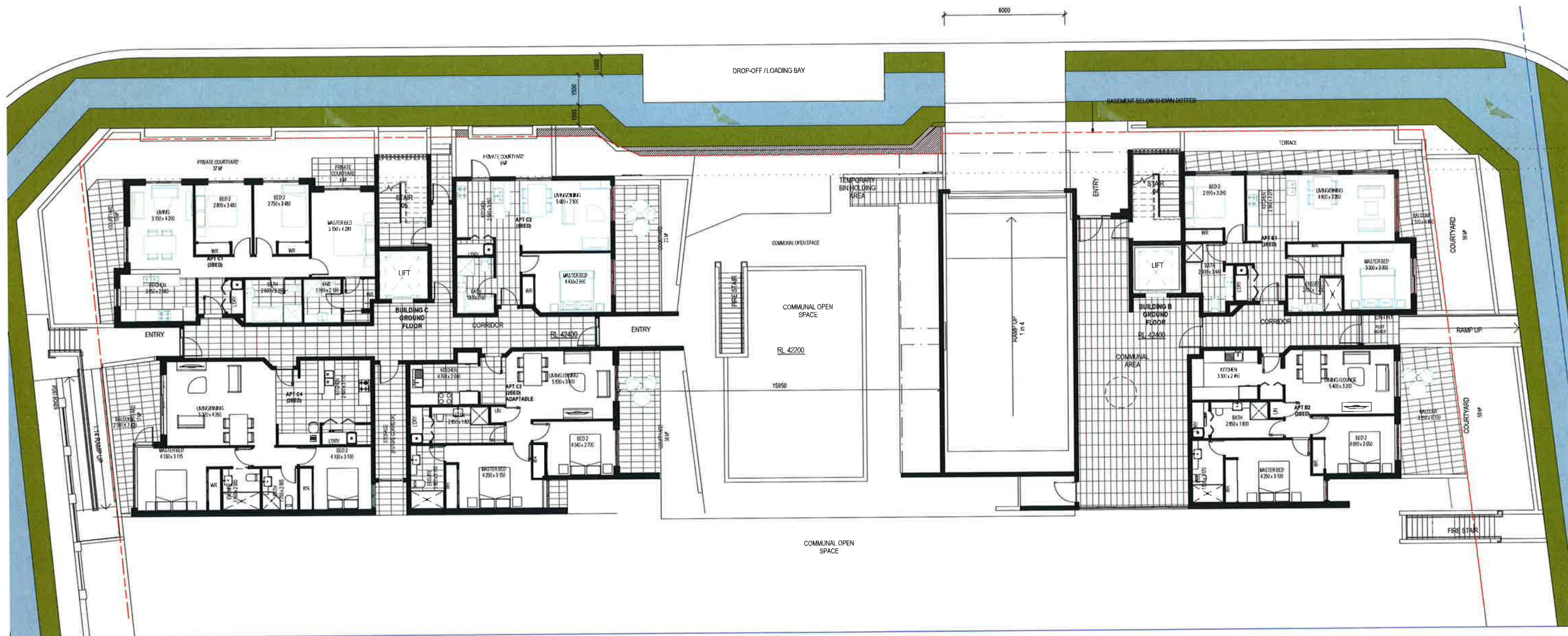
Date	Description	No.
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11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	E
26/08/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

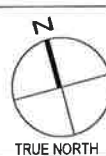
CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK	DRAWN J.F.	PROJECT NO. 13-23665
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. ABN 18 050 645 035 A.C.N. 050 645 035 LEVEL 4 400 KENT STREET SYDNEY NSW 2000 TEL (02) 9264 5155 FAX (02) 9264 5166 EMAIL: info@joshuafarkash.com.au	DRAWING TITLE BUILDING A - GROUND FLOOR	DATE PLOTTED 07/10/2014	SCALE @A1 1:100 DOUBLE FOR A3
		DRAWING No. / Rev	A-2108 H

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Date	Description	No
11/07/2014	PRELIMINARY ISSUE	A
16/07/2014	PRELIMINARY ISSUE	B
22/07/2014	PRELIMINARY ISSUE	C
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	D
28/09/2014	ISSUED FOR DA	E
12/03/2015	AMENDED DA	F
06/07/2015	FOOTPATH AMENDED	G



**5 RYNAN AVENUE
EDMONDSON PARK, NSW**
MULTI-UNIT RESIDENTIAL DEVELOPMENT

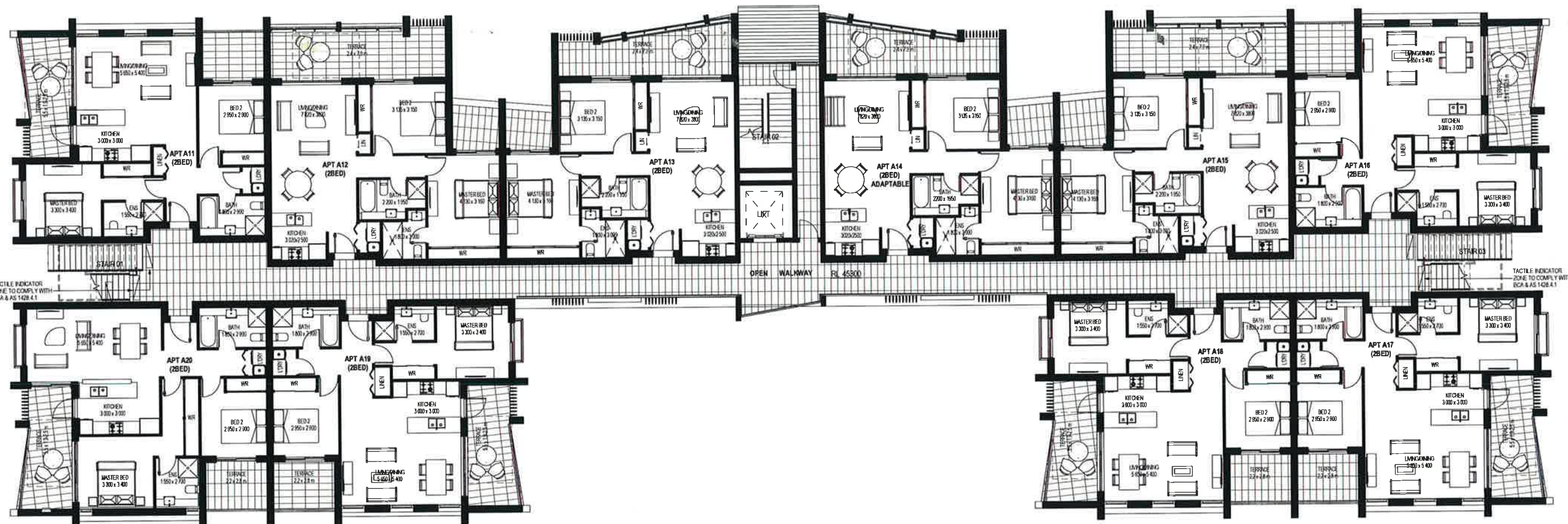
CLIENT
KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
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ARN 19 020 646 005 A.C.N. 620 046 005
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FAX (02) 82645166
EMAIL arch@jfkash.com.au

PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
BUILDING B & C - GROUND FLOOR

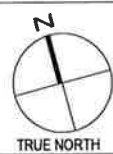
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JF	TS	13-23665
DATE PLOTTED	SCALE	DRAWING
10/07/15	@A1 1:100 (DOUBLE FOR A3)	A-2109 H



1 BUILDING A - TYPICAL FLOOR
1:100

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G



5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
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EMAIL: arch@jfa.com.au

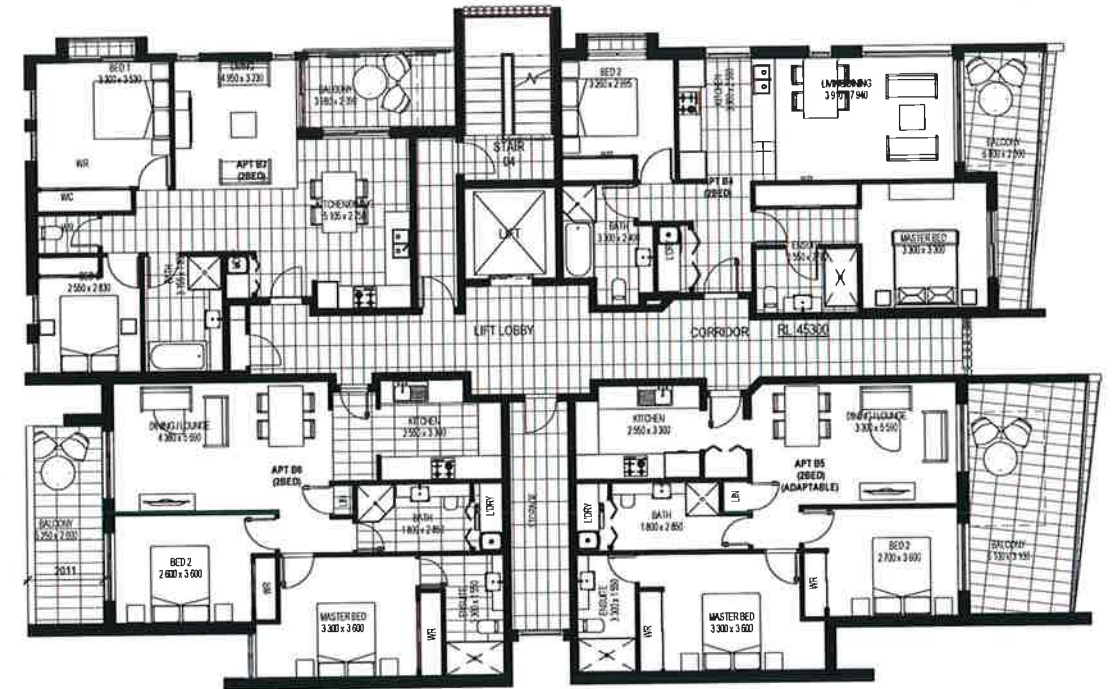
PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
BUILDING A - TYPICAL FLOOR

DATE PLOTTED
07/10/2014

SCALE @A1
1:100
DOUBLE FOR A3

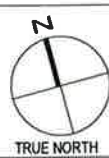
DRAWING No / Rev
A-2110 G



1 BUILDINGS B & C - TYPICAL FLOOR
1:100

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Date	Description	No.
06/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
26/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/08/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK	DRAWN JF	PROJECT No. 13-23665
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. ABN 19 050 646 095 A.C.N. 050 646 095 42 KENT STREET SYDNEY NSW 2000 TEL: (02) 9264 5155 FAX: (02) 9264 5166 EMAIL: architect@jarkash.com.au	DRAWING TITLE BUILDING B & C TYPICAL FLOOR	DATE PLOTTED 07/10/2014	SCALE @A1 1:100 DOUBLE FOR A3
		DRAWING No / Rev.	A-2111 H

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1 NORTH ELEVATION - BUILDING A
1:100



2 EAST ELEVATION - BUILDING A
1:100

NOTES:
BUSHFIRE ATTACK LEVELS (BAL) : BUILDING A IS TO BE CONSTRUCTED TO BAL-19 AS PER AS 3958 ON THE NORTHERN & EASTERN ELEVATION AND ON THE WESTERN & SOUTHERN ELEVATION TO BAL-29 REFER TO BUSHFIRE PROTECTION ASSESSMENT DATED ON 26 /08/2014

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BICA & BADA COMPLIANCE	E
28/09/2014	ISSUED FOR GA	F
12/03/2015	AMENDED GA	G

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd

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EMAIL: architects@jfkash.com.au

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
ELEVATIONS - BUILDING A 1/3

CHD JF	ORIGIN ML	PROJECT NO. 13-23665
DATE PLOTTED 07/10/2014	SCALE @A1 1:100 (DOUBLE FOR A3)	DRAWING No./Rev A-3101 G



3 SOUTH ELEVATION - BUILDING A - NEW ROAD RESERVE STREETSCAPE
1:100



4 WEST ELEVATION - BUILDING A - COURTYARD VIEW
1:100

NOTES:
BUSHFIRE ATTACK LEVELS (BAL) : BUILDING A IS TO BE CONSTRUCTED TO BAL 19 AS PER AS 3959 ON THE NORTHERN & EASTERN ELEVATION AND ON THE WESTERN & SOUTHERN ELEVATION TO BAL-29 REFER TO BUSHFIRE PROTECTION ASSESSMENT DATED ON 26 /08/2014

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
18/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
26/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIN COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

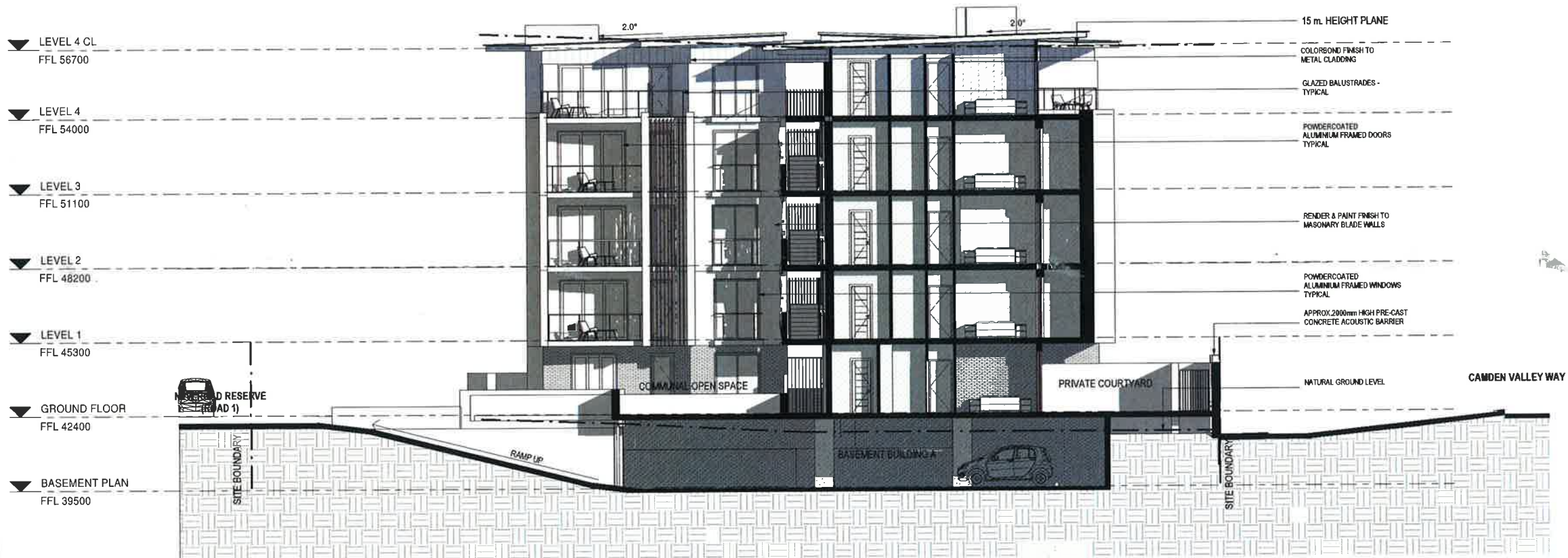
CLIENT
KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
ABN 19 090 645 095 A.C.N. 090 645 095
LEVEL 4
432 HENRI STREET
SYDNEY NSW 2000
TEL: (02) 950 45155
FAX: (02) 950 45166
EMAIL: arch@joshua-farkash.com.au

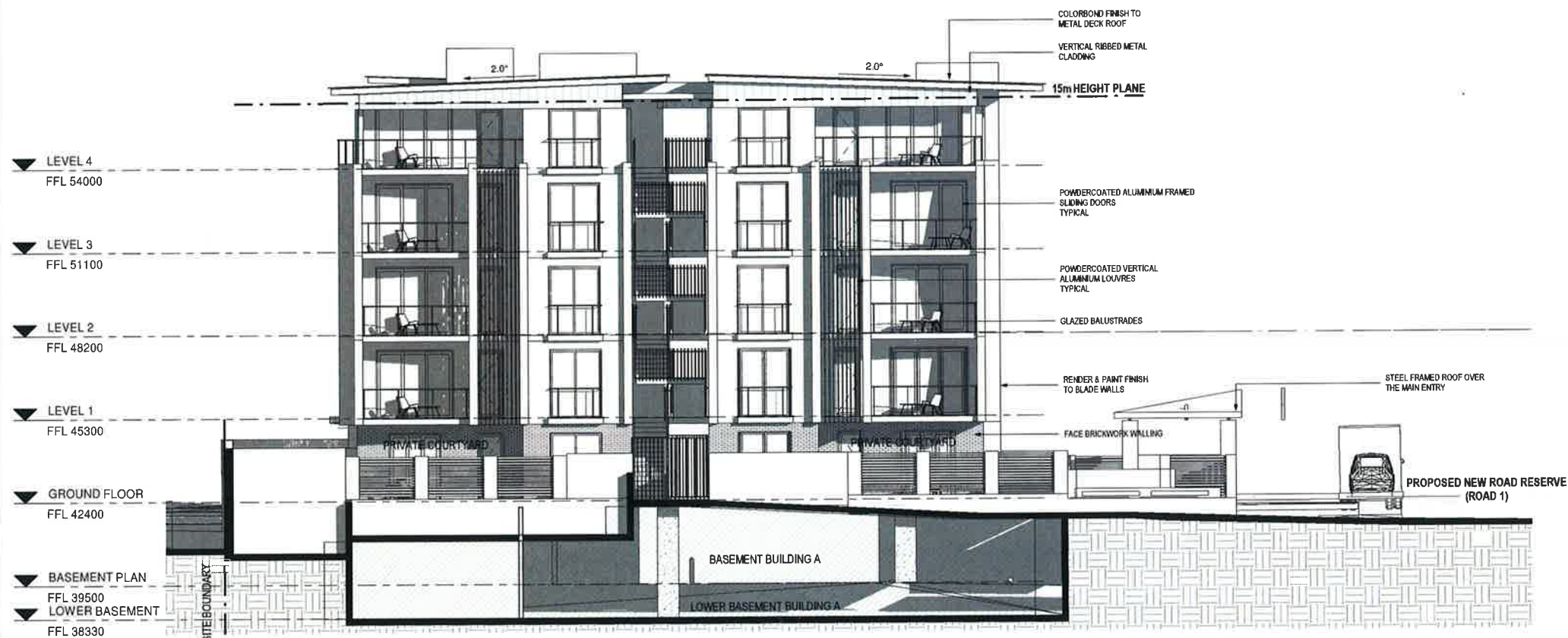
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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
ELEVATIONS - BUILDING A 2/3

DATE PLOTTED
07/10/2014
SCALE @A3
1:100
(DOUBLE FOR A3)
DRAWING No./Rev
A-3102 G

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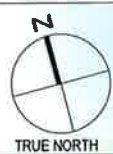
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1:100



6 WEST ELEVATION - BUILDING A
1:100

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4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
23/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G



5 RYAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

CLIENT
KMT CONSTRUCTIONS Pty Ltd

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402 KEYS STREET
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EMAIL: arch@jfa.com.au

PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
ELEVATIONS-BUILDING A 3/3

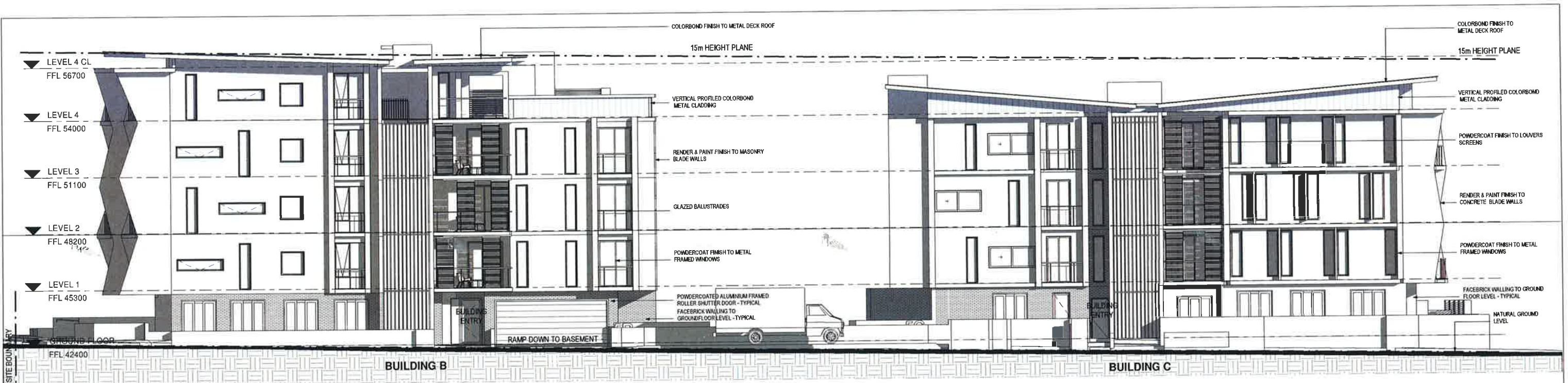
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DATE PLOTTED
04/09/15

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DRAWING TITLE
A-3103 G

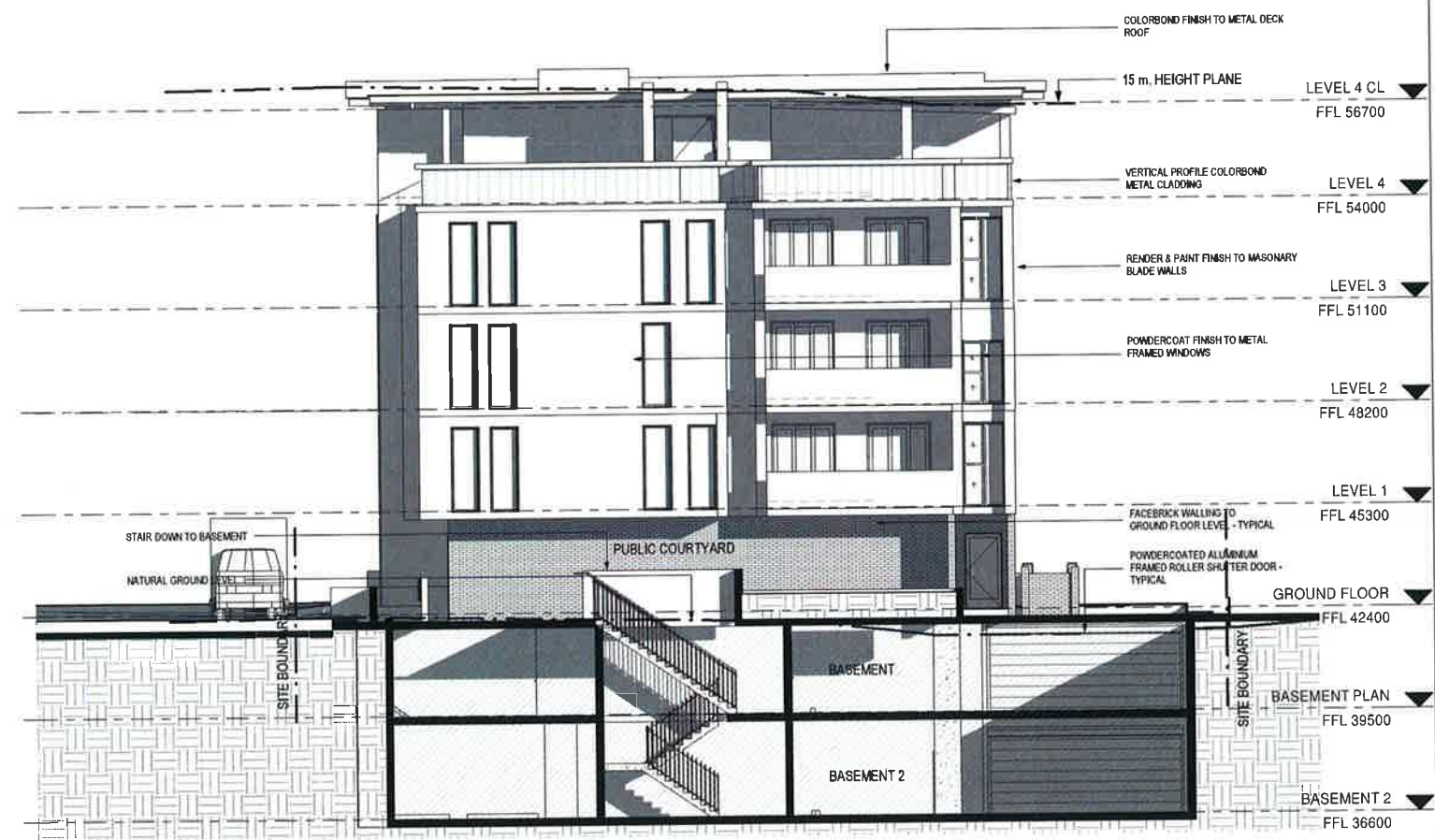
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1 NORTH ELEVATION - BUILDINGS B & C - NEW ROAD RESERVE STREETSCAPE
1:100



2 EAST ELEVATION - BUILDING B
1:100



5 WEST ELEVATION - BUILDING B
1:100

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11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

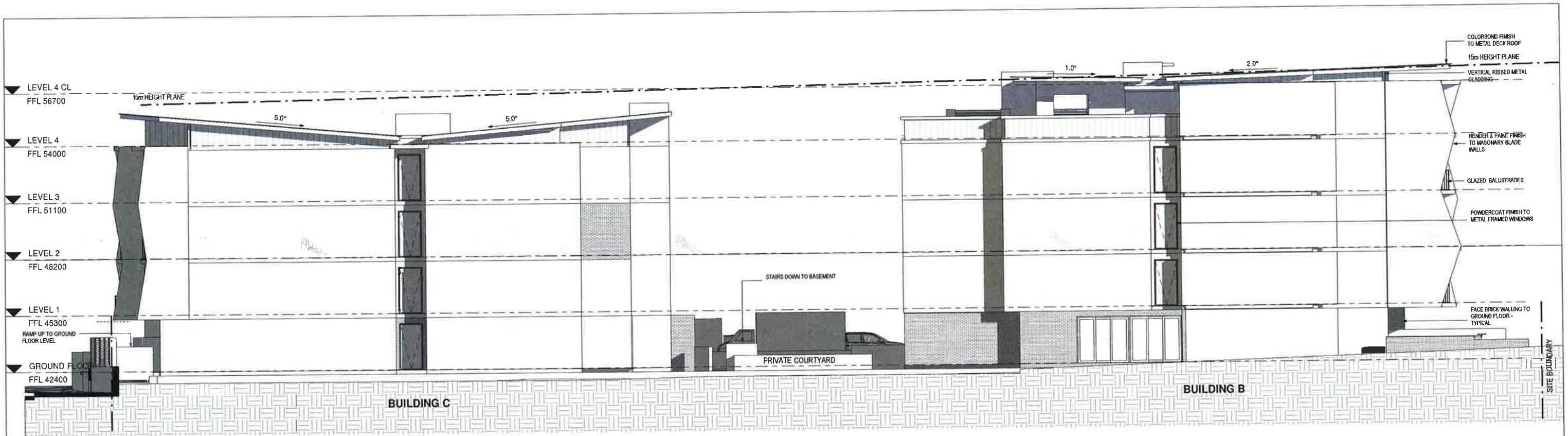
5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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432 RYAN STREET
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FAX: (02) 9264 5156
EMAIL: arch@joshfarkash.com.au

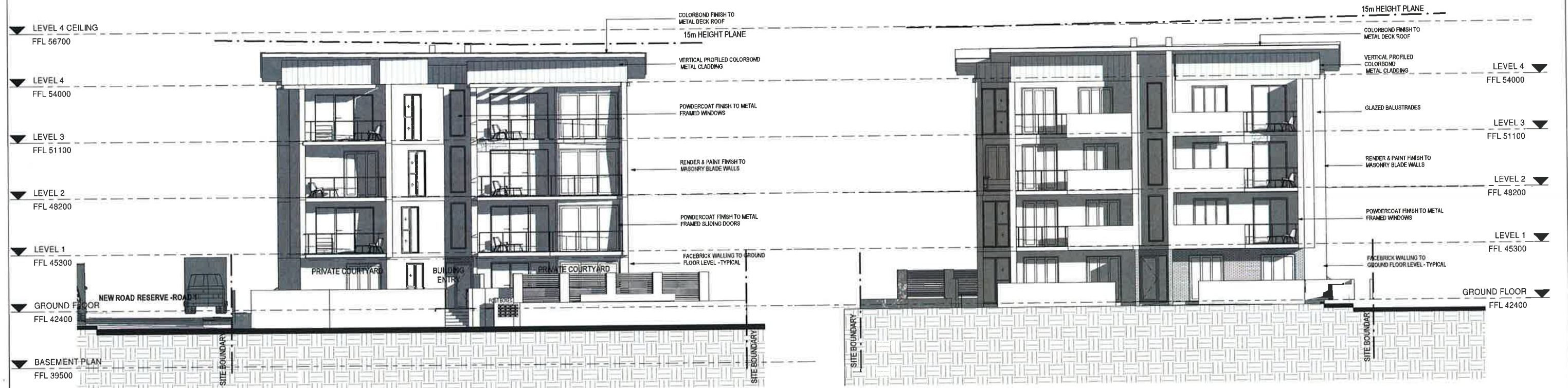
PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
ELEVATIONS - BUILDINGS B & C /12

DRAWN
JF
DATE PLOTTED
07/10/2014
SCALE @A1
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SUSCEPTIBLE FOR A3
PROJECT NO.
13-23665
DRAWING NO. / Rev.
A-3104 H

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3 SOUTH ELEVATION - BUILDINGS B & C
1:100



6 WEST ELEVATION - BUILDING C
1:100

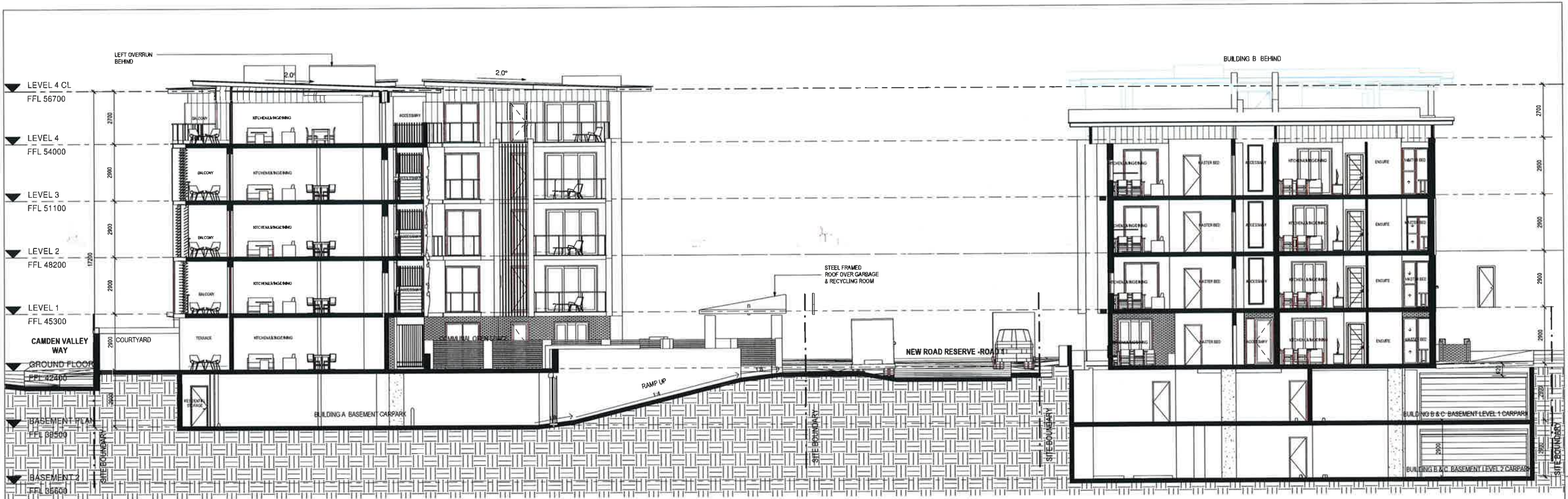
4 EAST ELEVATION BUILDING C
1:100

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11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/08/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYAN AVENUE, EDMONDSON PARK	DATE OF ISSUE 07/10/2014	SCALE SCALE @A1 1:100 SCALE FOR A3
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. 432 KENT STREET EDMONDSON PARK NSW 2002	PROJECT NO. 13-23665	DRAWING NO. A-3105	DRAWING TITLE ELEVATIONS - BUILDINGS B & C 2/2



AA SECTION A-A
1:100



BB SECTION B-B
1:100

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BULK COMPLIANCE	E
29/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

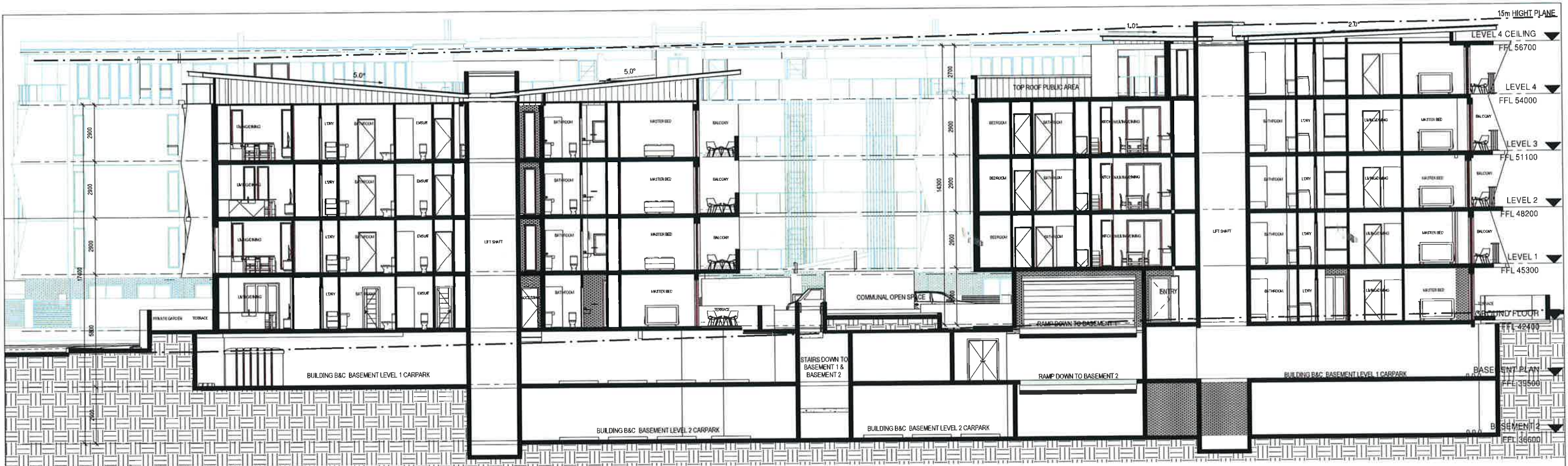
5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd

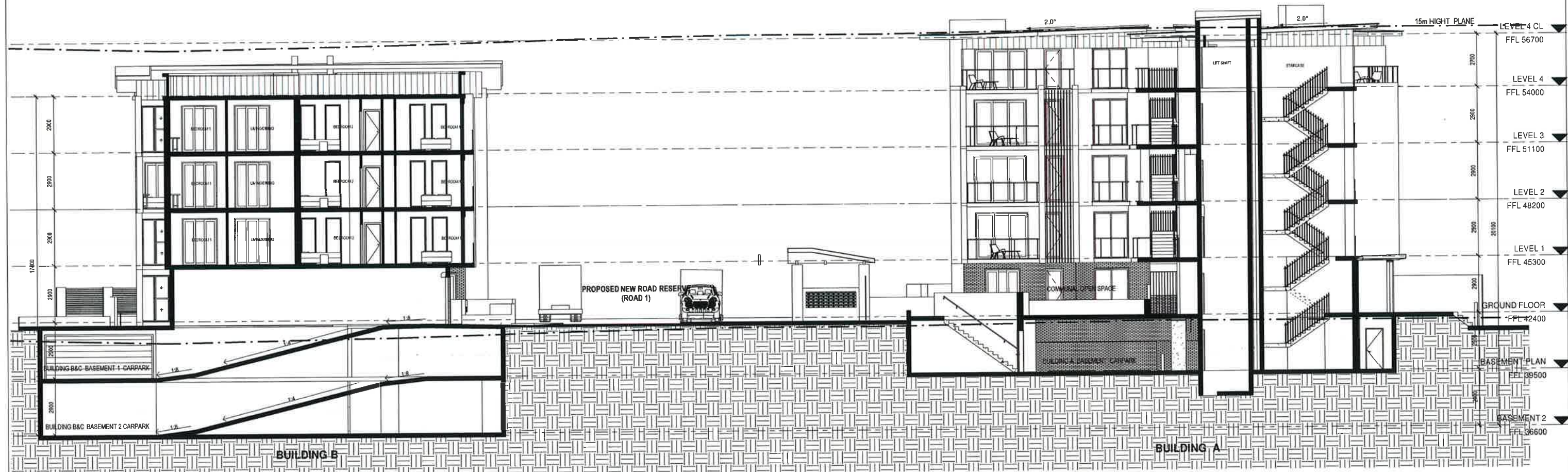
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
ABN 11 555 945 016 A.C.N. 590 645 016
LEVEL 4
432 KENT STREET
SYDNEY NSW 2000
TEL: (02) 9264 5155
FAX: (02) 9264 5166
EMAIL: arch@joshua-farkash.com.au

PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
SECTION A-A & B-B

PROJECT No.
13-23665
DATE PLOTTED
07/10/2014
SCALE @A1
1:100
DOUBLE FOR A3
DRAWING No. / Rev.
A-4101 H



1 SECTION C-C
1:100



2 SECTION D-D
1:100

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
26/09/2014	ISSUED FOR DA	E
12/03/2015	AMENDED DA	F
06/07/2015	FOOTPATH AMENDED	G

5 RYMAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

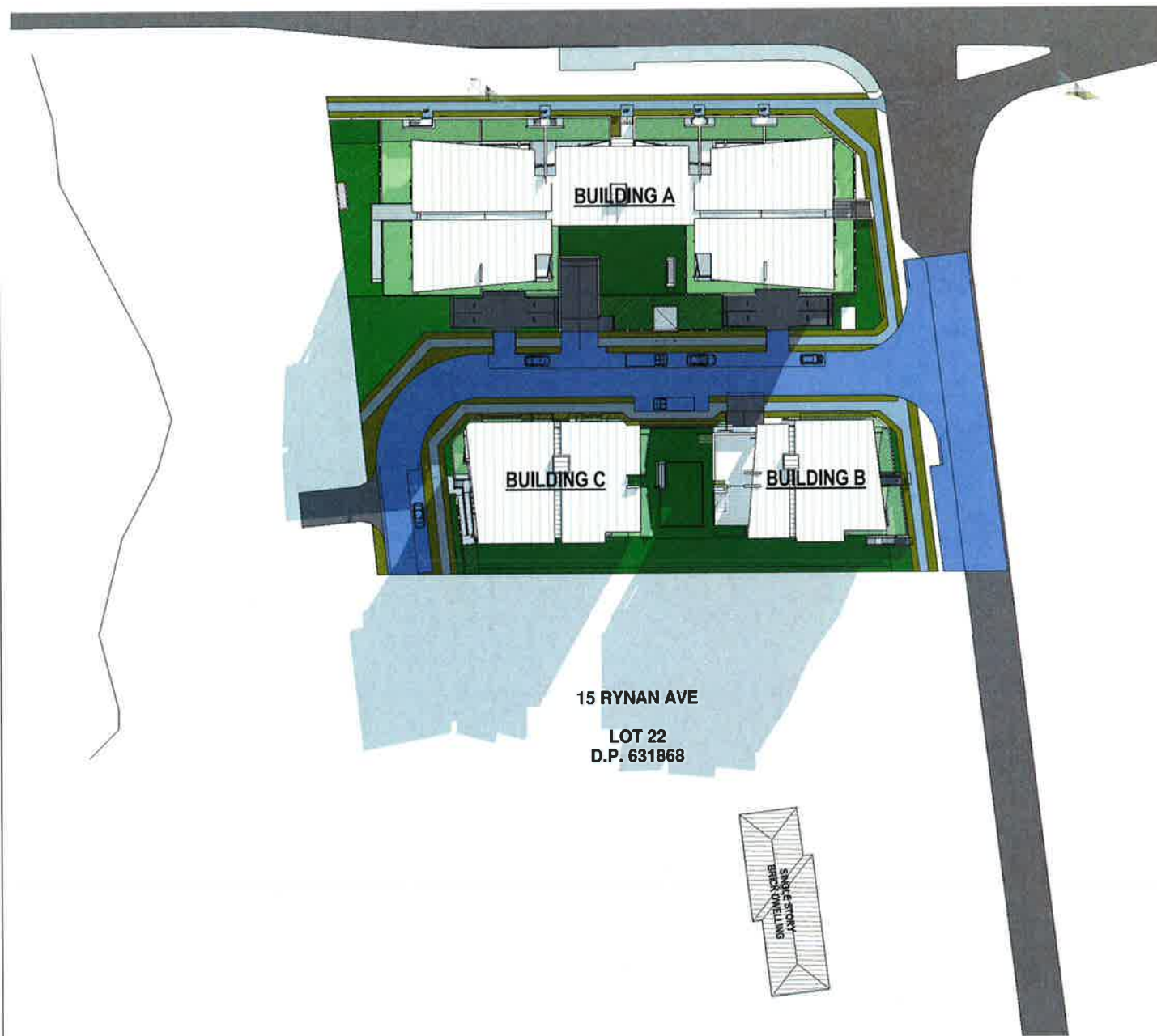
CLIENT
KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY LTD.
ABN 19 950 545 955 A.C.N. 950 545 955
432 KENT STREET
STONEY MEAD NSW 2000
TEL (02) 9564 5155
FAX (02) 9564 5166
EMAIL info@joshua-farkash.com.au

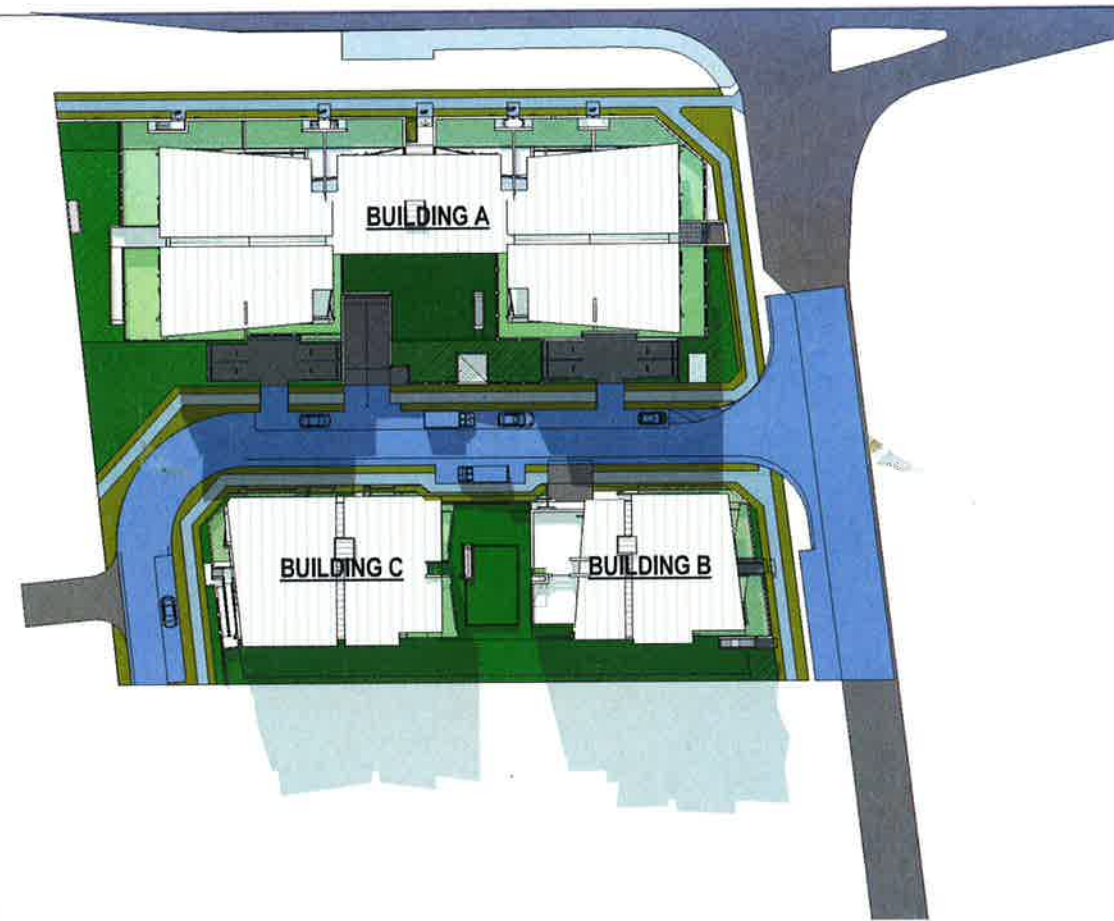
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
SECTION C-C & D-D

DATE PLOTTED
07/10/2014
SCALE (B1)
1:100
DOUBLE FOR A3

PROJECT NO.
13-23665
DRAWING NO.
A-4102
G



1 SHADOW DIAGRAM 22 JUNE 9 AM
1:500



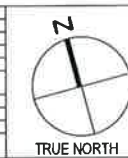
2 SHADOW DIAGRAM 22 JUNE 12 PM
1:500



3 SHADOW DIAGRAM 22 JUNE 3PM

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	E
25/09/2014	ISSUED FOR DA	F
12/05/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



**5 RYAN AVENUE
EDMONDSON PARK, NSW**
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
ABN 10 991 046 095 A.C.N. 991 046 095
LEVEL 4
432 KENT STREET
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TEL (02) 928 45105
FAX (02) 928 45106
EMAIL: info@jfa.com.au

PROJECT
**PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK**
DRAWING TITLE
SHADOW DIAGRAMS

DATE PLOTTED 10/07/15	SCALE @A1 1:500 DOUBLE FOR A3
DRAWING No. / Rev. A-5100 H	

C:\Users\mtd\Documents\13-23665_5 Ryan Ave DA Amend_1.mxd

BUILDING A
50 APARTMENTS

6.0 HOURS OF DAYLIGHT = 25
3.0 HOURS OF DAYLIGHT = 13
1.0 HOURS OF DAYLIGHT = 0
0.0 HOURS OF DAYLIGHT = 12

38/50 APARTMENTS RECEIVE 3.0 HOURS+
OF DAYLIGHT BETWEEN 9:00AM to 3:00PM

TOTAL = 76%

BUILDING B
16 APARTMENTS

6.0 HOURS OF DAYLIGHT = 10
3.0 HOURS OF DAYLIGHT = 0
1.0 HOURS OF DAYLIGHT = 1
0.0 HOURS OF DAYLIGHT = 5

10/16 APARTMENTS RECEIVE 3.0 HOURS+ OF
DAYLIGHT BETWEEN 9:00AM to 3:00PM

TOTAL = 62.5%

BUILDING C
16 APARTMENTS

6.0 HOURS OF DAYLIGHT = 9
3.0 HOURS OF DAYLIGHT = 1
2.0 HOURS OF DAYLIGHT = 3
0.0 HOURS OF DAYLIGHT = 3

10/16 APARTMENTS RECEIVE 3.0 HOURS + OF
DAYLIGHT BETWEEN 9:00AM to 3:00PM

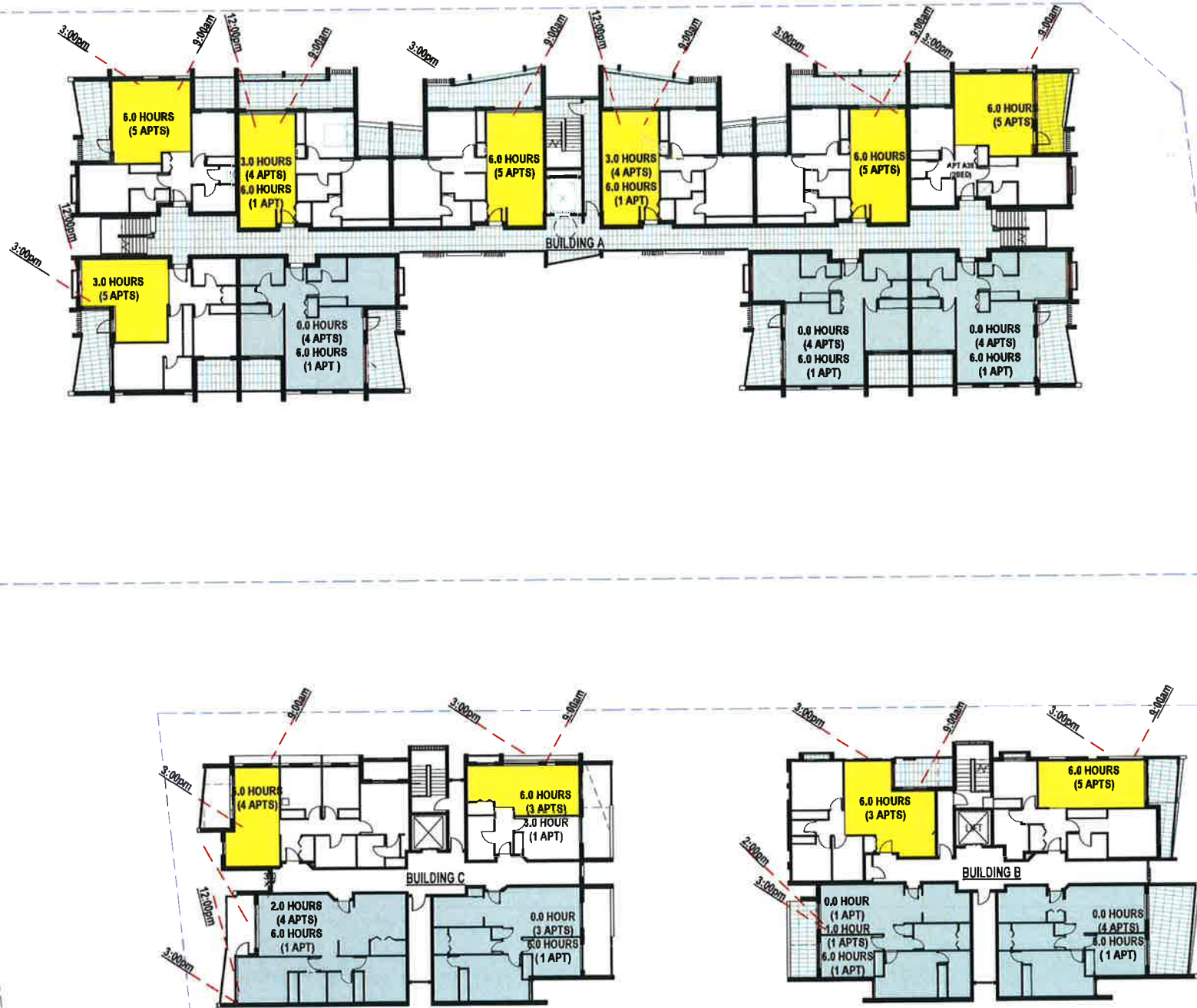
TOTAL = 62.5%

COMBINED TOTAL
82 APARTMENTS

6.0 HOURS OF DAYLIGHT = 44
3.0 HOURS OF DAYLIGHT = 14
2.0 HOURS OF DAYLIGHT = 3
1.0 HOURS OF DAYLIGHT = 1
0.0 HOURS OF DAYLIGHT = 20

58/82 APARTMENTS RECEIVE 3.0 HOURS + OF
DAYLIGHT BETWEEN 9:00AM to 3:00PM

TOTAL = 70.7%



1 DAYLIGHT ANALYSIS - TYPICAL FLOOR
1:200

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Date	Description	No.
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	A
12/03/2015	AMENDED DA	B
06/07/2015	FOOTPATH AMENDED	C



5 RYNAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

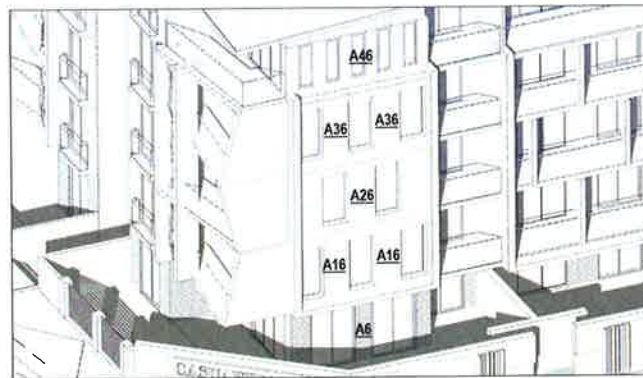
CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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402 KENT STREET
SYDNEY NSW 2000
TEL (02) 92451555
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EMAIL: arch@jfa.com.au

PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
DAYLIGHT ANALYSIS

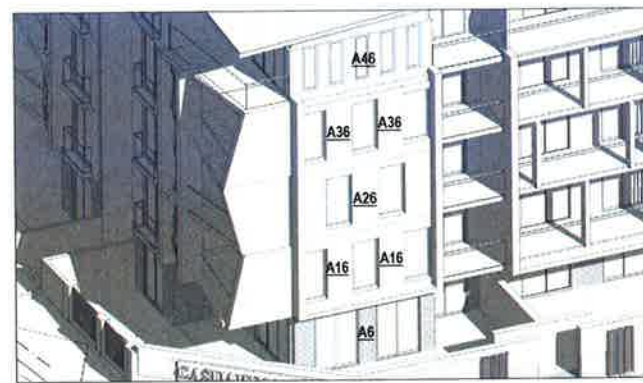
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JFA	TS	13-23665
DATE PLOTTED	SCALE	DATE
10/07/15	1:200	10/07/15
DRAWING NO. / REV.	DOUBLE FOR A3	
A-5101	C	



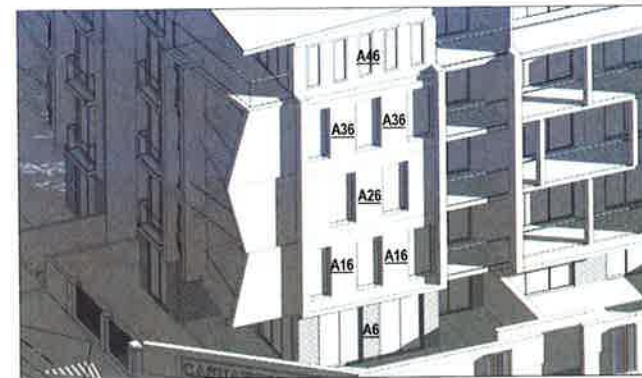
1 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-6/16/26/36/46
1:500
APARTMENTS - A6 / A16 / A26 / A36 / A46 = 6.0 HOURS BETWEEN 9AM TO 3PM



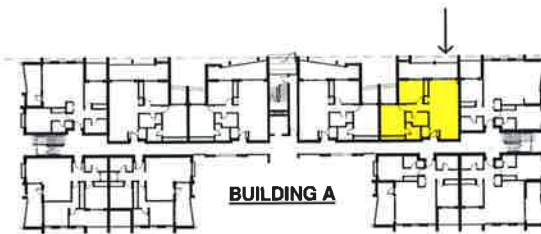
JUNE 22 - 9:00AM - APARTMENTS - A6 / A16 / A26 / A36 / A46



JUNE 22 - 12:00PM - APARTMENTS - A6 / A16 / A26 / A36 / A46



JUNE 22 - 3:00PM - APARTMENTS - A6 / A16 / A26 / A36 / A46



2 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-5/15/25/35/45
1:500
APARTMENTS - A5 / A15 / A25 / A35 / A45 = 6.0 HOURS BETWEEN 9AM TO 3PM



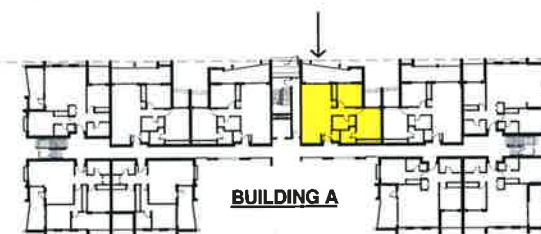
JUNE 22 - 9:00AM - APARTMENTS - A5 / A15 / A25 / A35 / A45



JUNE 22 - 12:00PM - APARTMENTS - A5 / A15 / A25 / A35 / A45



JUNE 22 - 3:00PM - APARTMENTS - A5 / A15 / A25 / A35 / A45



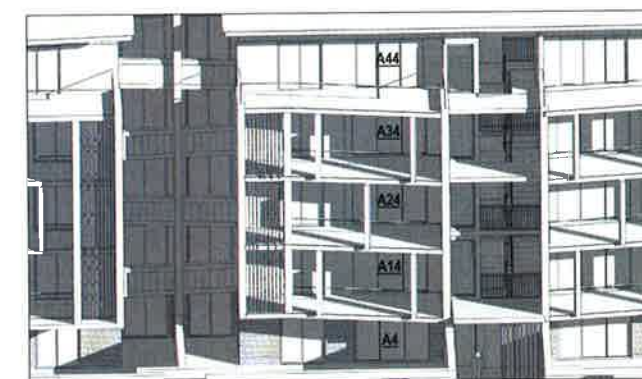
3 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-4/14/24/34/44
1:500
APARTMENT - A44 = 6.0 HOURS BETWEEN 9AM TO 3PM
APARTMENTS - A4 / A14 / A24 / A34 = 3.0 HOURS BETWEEN 9AM TO 3PM



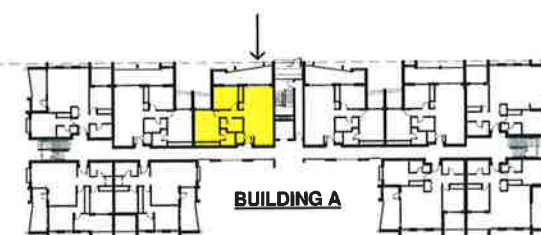
JUNE 22 - 9:00AM - APARTMENTS - A4 / A14 / A24 / A34 / A44



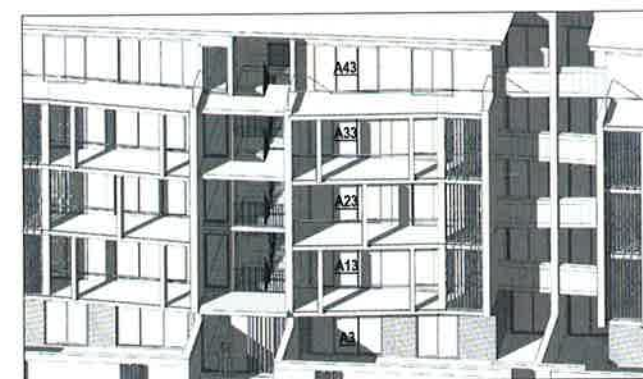
JUNE 22 - 12:00PM - APARTMENTS - A4 / A14 / A24 / A34 / A44



JUNE 22 - 3:00PM - APARTMENTS - A4 / A14 / A24 / A34 / A44



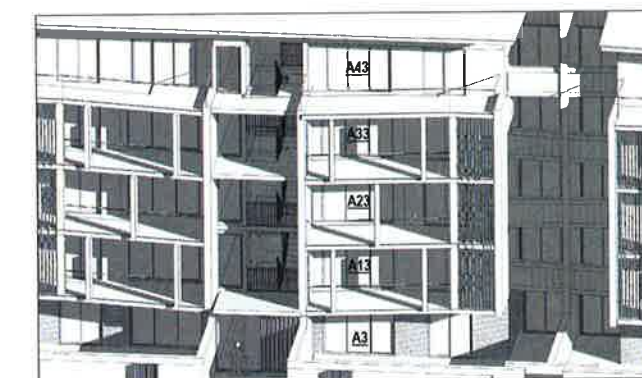
4 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-3/13/23/33/43
1:500
APARTMENTS - A3 / A13 / A23 / A33 / A43 = 6.0 HOURS BETWEEN 9AM TO 3PM



JUNE 22 - 9:00AM - APARTMENTS - A3 / A13 / A23 / A33 / A43



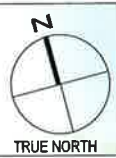
JUNE 22 - 12:00PM - APARTMENTS - A3 / A13 / A23 / A33 / A43



JUNE 22 - 3:00PM - APARTMENTS - A3 / A13 / A23 / A33 / A43

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Date	Description	No.

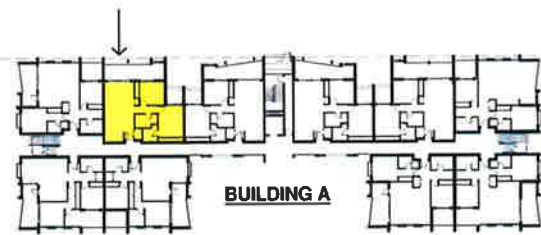


5 RYAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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SYDNEY NSW 2000
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FAX (02) 62645156
EMAIL: arch@joshua-farkash.com.au

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
BUILDING A-DAYLIGHT
ACCESS-ELEVATIONS 1/3

DRAWN
CHECKED
DATE PLOTTED
05/04/15
SCALE @A1
DOUBLE FOR A3
PROJECT No.
13-23665
A-5102



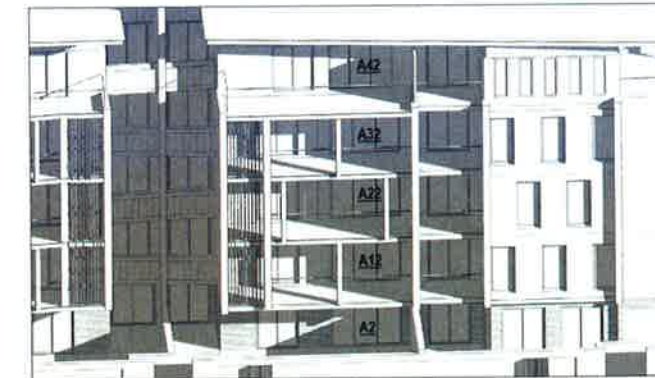
1 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-2/12/22/32/42
1:500
APARTMENT A42 = 6.0 HOURS BETWEEN 9AM TO 3PM
APARTMENTS - A2 / A12 / A22 / A32 = 3.0 HOURS BETWEEN 9AM TO 3PM



JUNE 22 - 9:00AM -APARTMENTS - A2 / A12 / A22 / A32 / A42



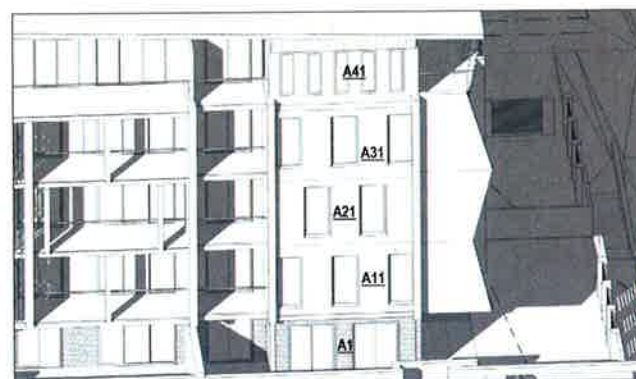
JUNE 22 - 12:00PM -APARTMENTS - A2 / A12 / A22 / A32 / A42



JUNE 22 - 3:00PM -APARTMENTS - A2 / A12 / A22 / A32 / A42



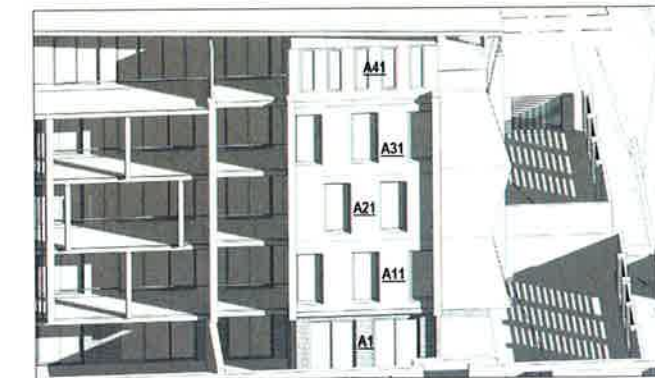
2 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-1/11/21/31/41
1:500
APARTMENTS - A1 / A11 / A21 / A31 / A41=6.0 HOURS BETWEEN 9AM TO 3PM



JUNE 22 - 9:00AM -APARTMENTS - A1 / A11 / A21 / A31 / A41



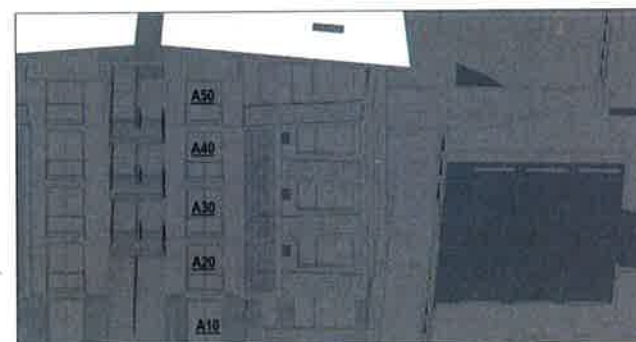
JUNE 22 - 12:00PM -APARTMENTS - A1 / A11 / A21 / A31 / A41



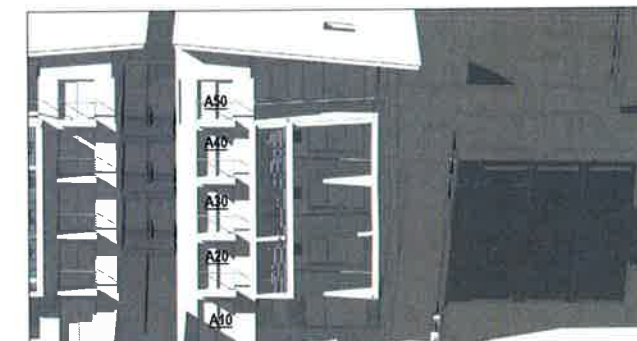
JUNE 22 - 3:00PM -APARTMENTS - A1 / A11 / A21 / A31 / A41



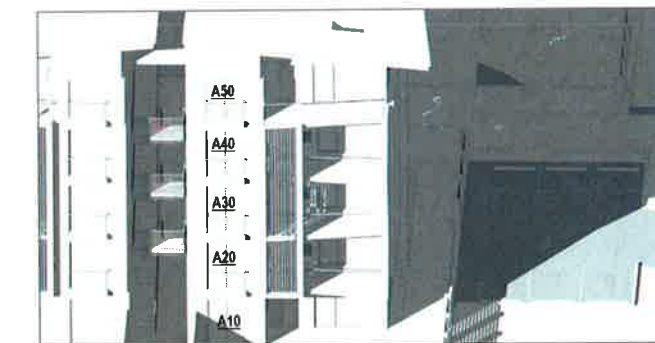
3 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-10/20/30/40/50
1:500
-APARTMENTS - A10 / A20 / A30 / A40 / 50 = 3.0 HOURS BETWEEN 12PM TO 3PM



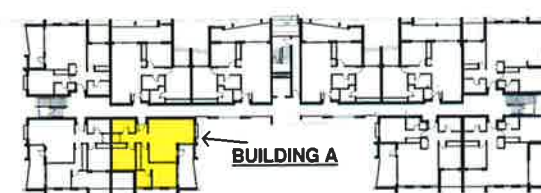
JUNE 22 - 9:00AM -APARTMENTS - A10 / A20 / A30 / A40 / A50



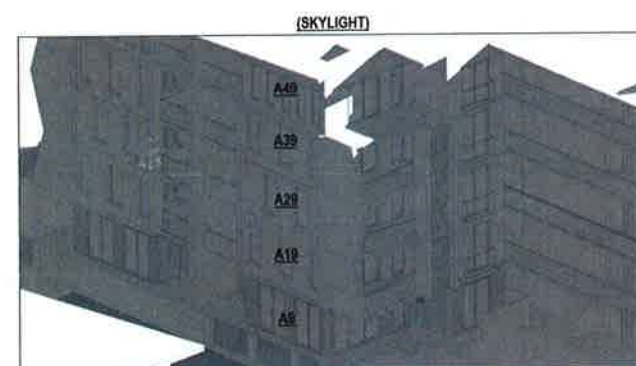
JUNE 22 - 12:00PM -APARTMENTS - A10 / A20 / A30 / A40 / A50



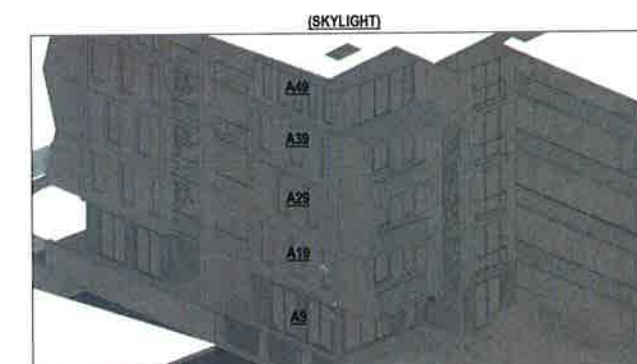
JUNE 22 - 3:00PM -APARTMENTS - A10 / A20 / A30 / A40 / A50



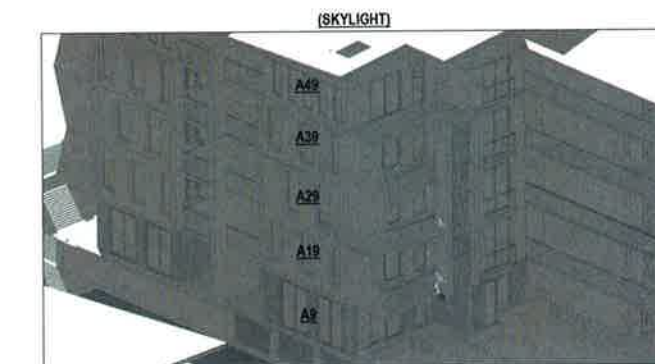
4 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-9/19/29/39/49
1:500
APARTMENT A49 = 6.0 HOURS BETWEEN 9AM TO 3PM
APARTMENTS - A9 / A19 / A29 / A39 = 0.0 HOURS BETWEEN 9AM TO 3PM



JUNE 22 - 9:00AM -APARTMENTS - A9 / A19 / A29 / A39 / A49



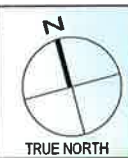
JUNE 22 - 12:00PM -APARTMENTS - A9 / A19 / A29 / A39 / A49



JUNE 22 - 3:00PM -APARTMENTS - A9 / A19 / A29 / A39 / A49

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Date	Description	No.
18/03/2015	AMENDED DA	A



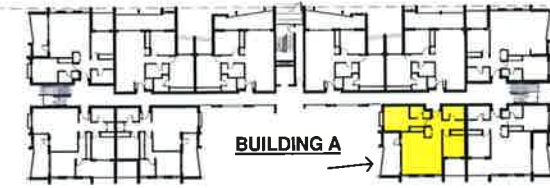
5 RYNAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT -DEVELOPMENT APPLICATION

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
ABN 10 651 946 095 A.C.N. 651 946 095
LEVEL 4
432 KEAT STREET
STONEY MEADOW NSW 2058
TEL: (02) 926 45105
FAX: (02) 926 45106
EMAIL: info@jfkash.com.au

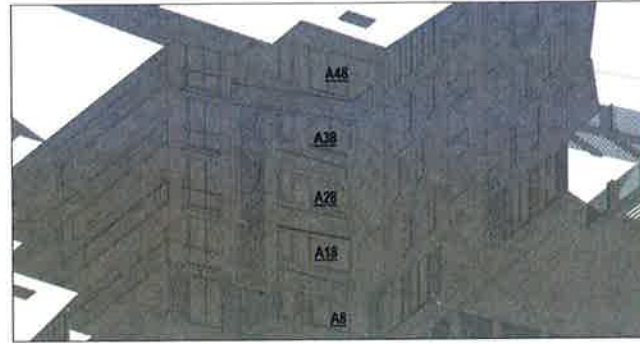
PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
BUILDING A - DAYLIGHT
ACCESS-ELEVATIONS 2/3

CHECKED
DRAWN
PROJECT No.
13-23665
DATE PLOTTED
05/04/15
SCALE @A1
DRAWING No./Rev.
A-5103 A

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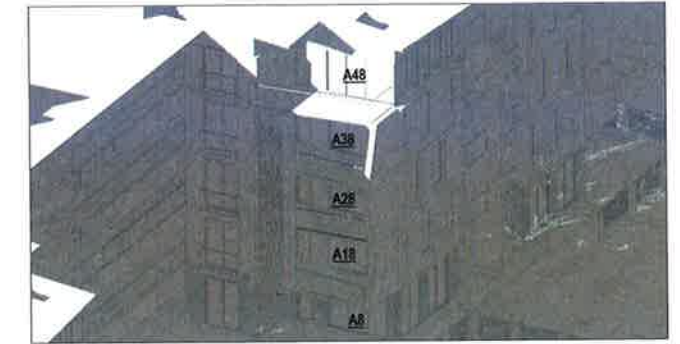
1 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-8/18/28/38/48
1:500
APARTMENT - A48 = 3.0 HOURS BETWEEN 12PM TO 3PM
APARTMENTS - A8 / A18 / A28 / A38 = 0.0 HOURS BETWEEN 9AM TO 3PM



JUNE 22 - 9:00AM -APARTMENTS - A8 / A18 / A28 / A38 / A48



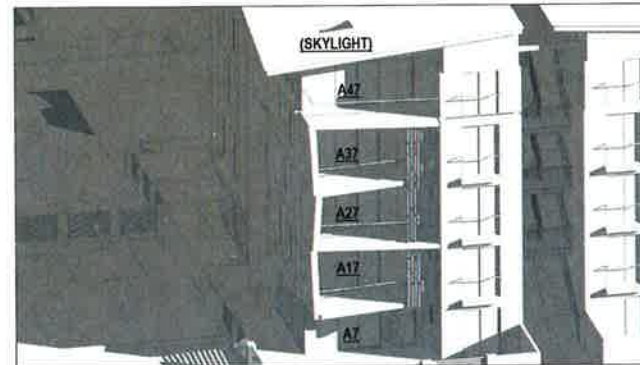
JUNE 22 - 12:00PM -APARTMENTS - A8 / A18 / A28 / A38 / A48



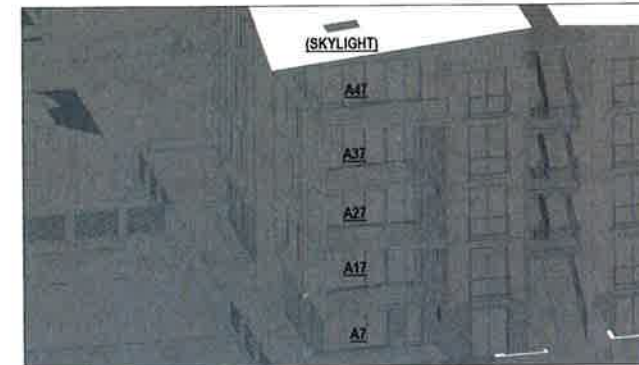
JUNE 22 - 3:00PM -APARTMENTS - A8 / A18 / A28 / A38 / A48



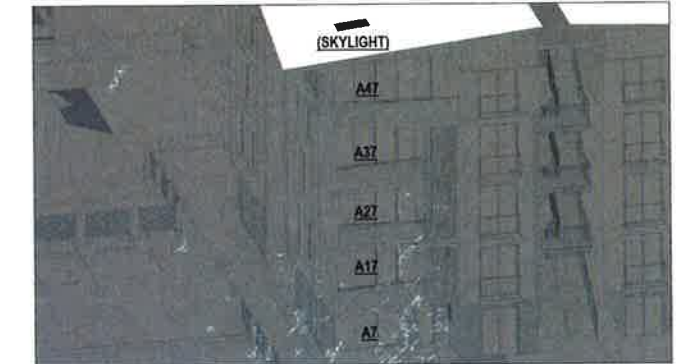
2 DAYLIGHT ANALYSIS-KEYPLAN BUILDING A-APTS-7/17/27/37/47
1:500
APARTMENT - A47 = 6.0 HOURS BETWEEN 9AM TO 3PM
APARTMENTS - A7 / A17 / A27 / A37 = 0.0 HOURS BETWEEN 9AM TO 3PM



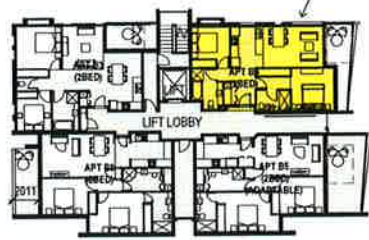
JUNE 22 - 9:00AM -APARTMENTS - A7 / A17 / A27 / A37 / A47



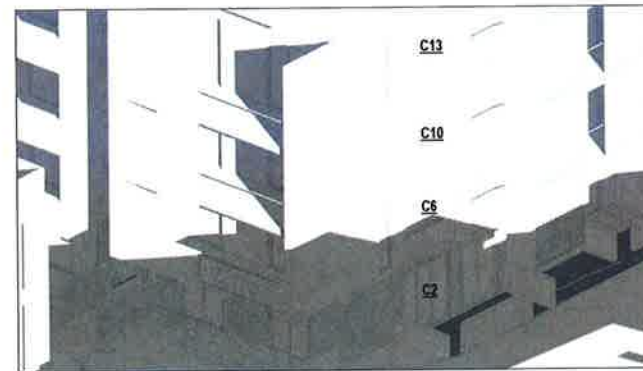
JUNE 22 - 12:00PM -APARTMENTS - A7 / A17 / A27 / A37 / A47



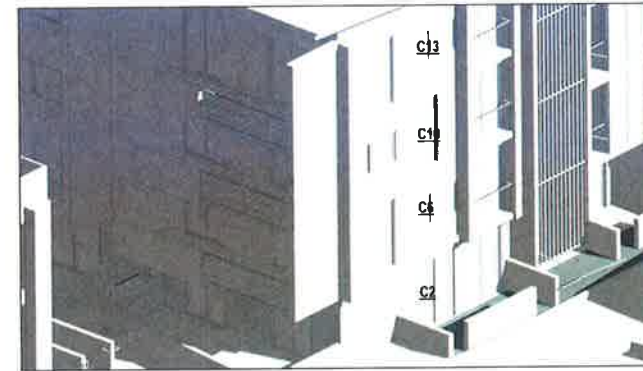
JUNE 22 - 3:00PM -APARTMENTS - A7 / A17 / A27 / A37 / A47



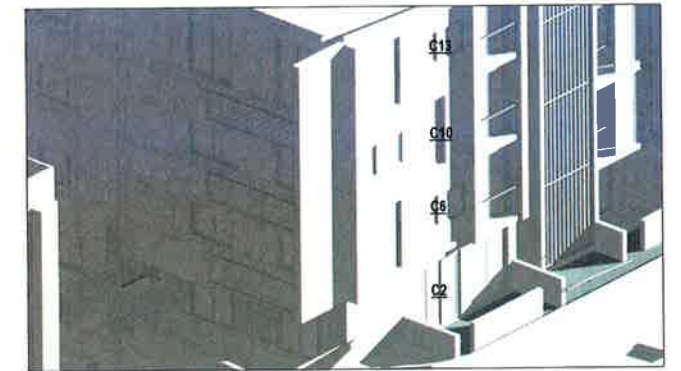
1 DAYLIGHT ANALYSIS - KEY PLAN BUILDING B-APTS-1/3/7/11/15
1:300
APARTMENTS - B1 / B3 / B7 / B14 / B15 = 6.0 HOURS BETWEEN 9AM TO 3PM



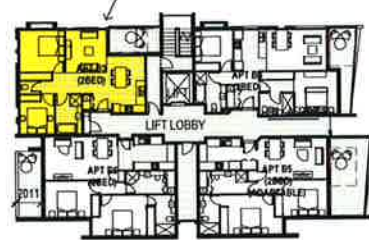
JUNE 22 - 9:00AM APARTMENTS - C2 / C6 / C10 / C13



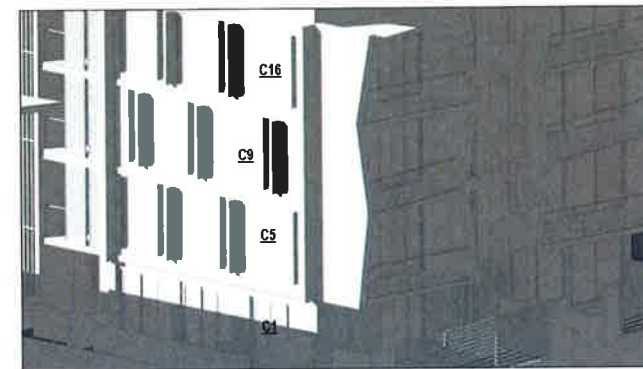
JUNE 22 - 12:00PM APARTMENTS - C2 / C6 / C10 / C13



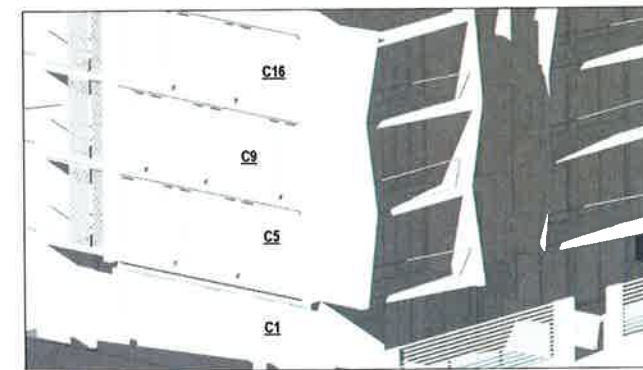
JUNE 22 - 3:00PM APARTMENTS - C2 / C6 / C10 / C13



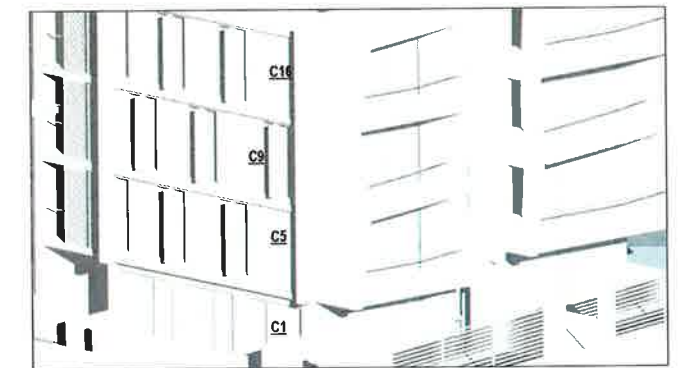
2 DAYLIGHT ANALYSIS - KEY PLAN BUILDING B-APTS-6/10/14
1:300
APARTMENTS - B6 / B10 / B14 = 6.0 HOURS BETWEEN 9AM TO 3PM



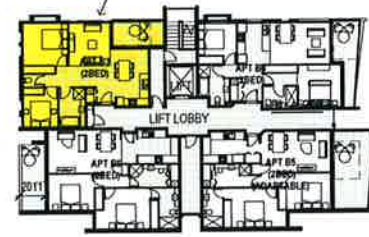
JUNE 22 - 9:00AM APARTMENTS - C1 / C5 / C9 / C16



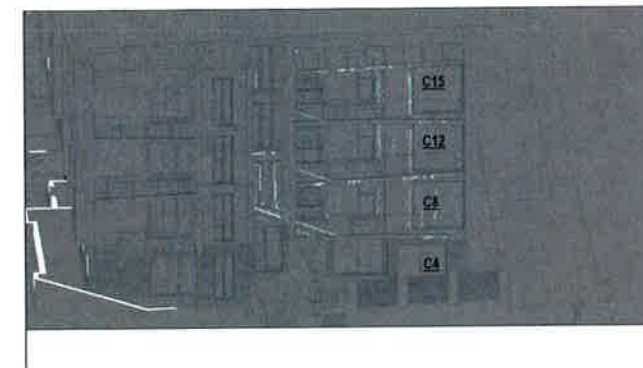
JUNE 22 - 12:00PM APARTMENTS - C1 / C5 / C9 / C16



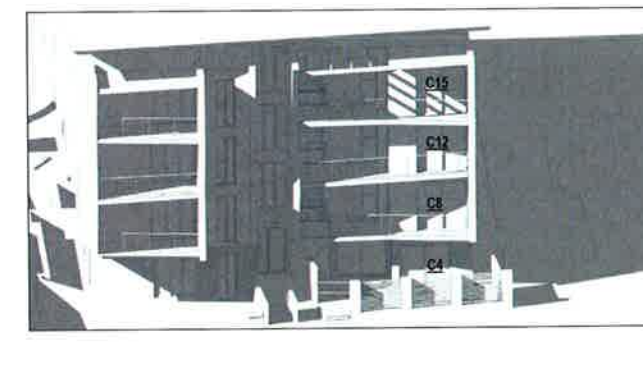
JUNE 22 - 3:00PM APARTMENTS - C1 / C5 / C9 / C16



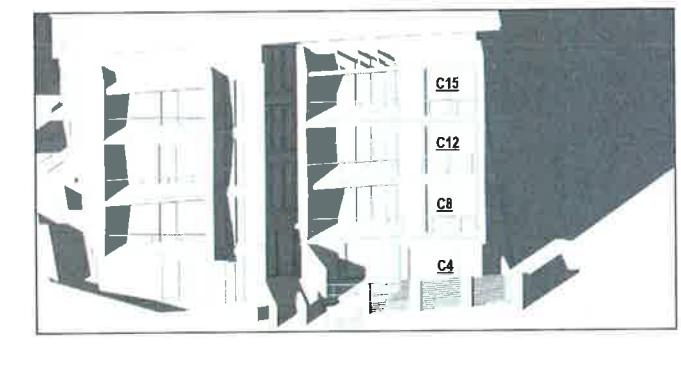
3 DAYLIGHT ANALYSIS - KEY PLAN BUILDING B-APTS-5/9/13
1:300
APARTMENT - B13 = 1.0 HOUR BETWEEN 2PM TO 3PM
APARTMENTS - B5 / B9 = 0.0 HOURS BETWEEN 9AM TO 3PM



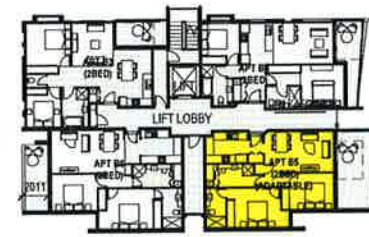
JUNE 22 - 9:00AM APARTMENTS - C4 / C8 / C12 / C15



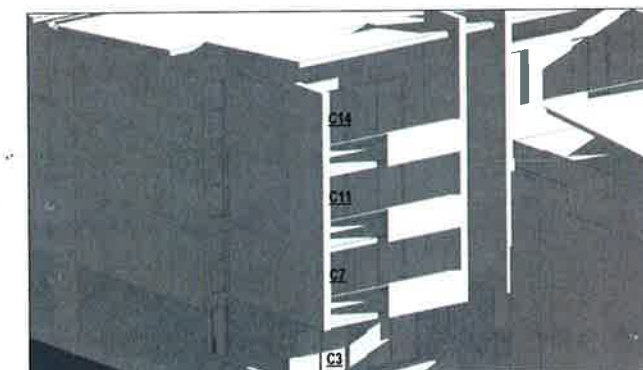
JUNE 22 - 12:00PM APARTMENTS - C4 / C8 / C12 / C15



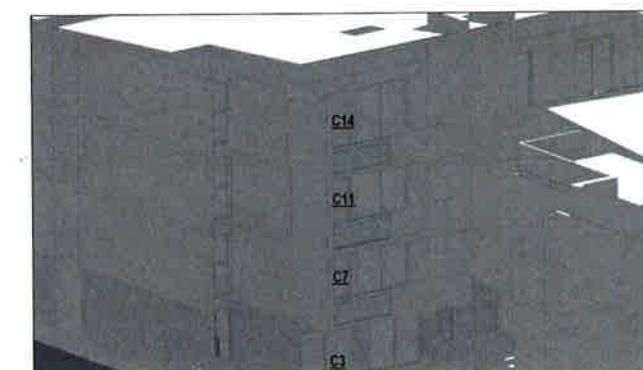
JUNE 22 - 3:00PM APARTMENTS - C4 / C8 / C12 / C15



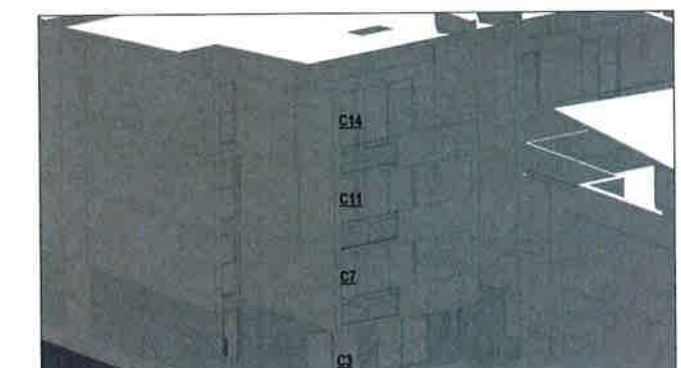
4 DAYLIGHT ANALYSIS - KEY PLAN BUILDING B-APTS-2/4/8/12/16
1:300
APARTMENT - B16 = 6.0 HOUR BETWEEN 9AM TO 3PM
APARTMENTS - B2 / B4 / B8 / B12 = 0.0 HOURS BETWEEN 9AM TO 3PM



JUNE 22 - 9:00AM APARTMENTS - C3 / C7 / C11 / C14



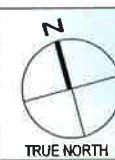
JUNE 22 - 12:00PM APARTMENTS - C3 / C7 / C11 / C14



JUNE 22 - 3:00PM APARTMENTS - C3 / C7 / C11 / C14

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Date	Description	No.
12/03/2015	AMENDED DA	A
06/01/2015	FOOTPATH AMENDED	B

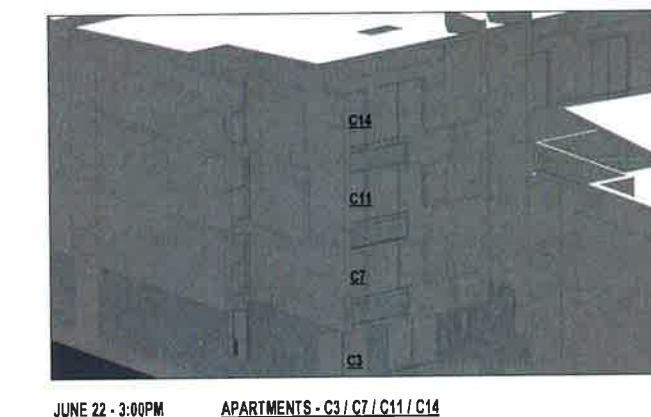
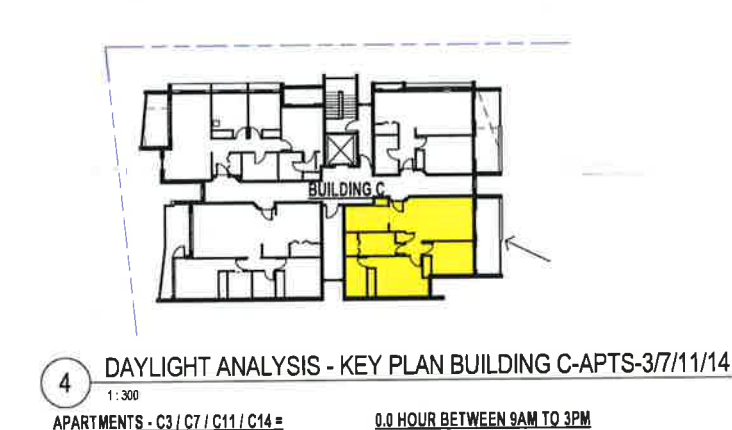
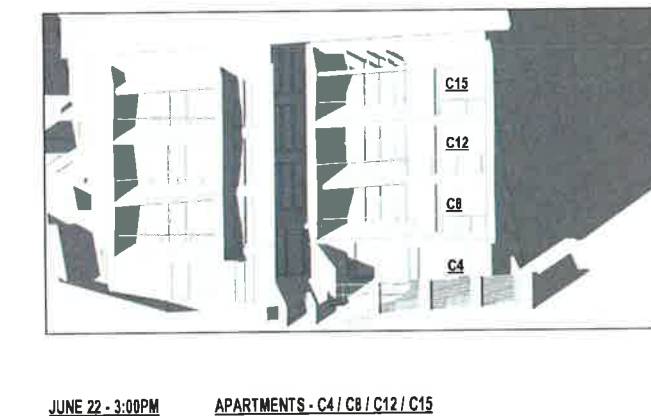
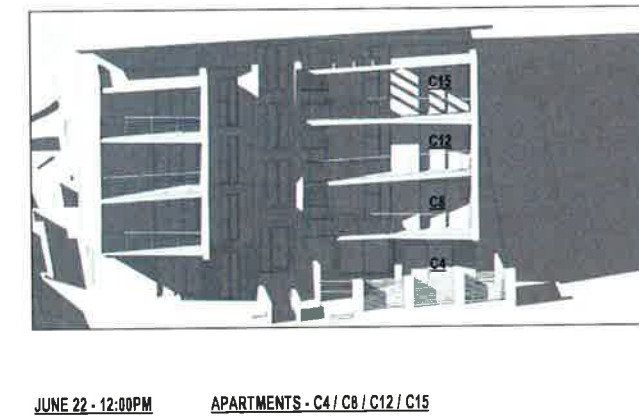
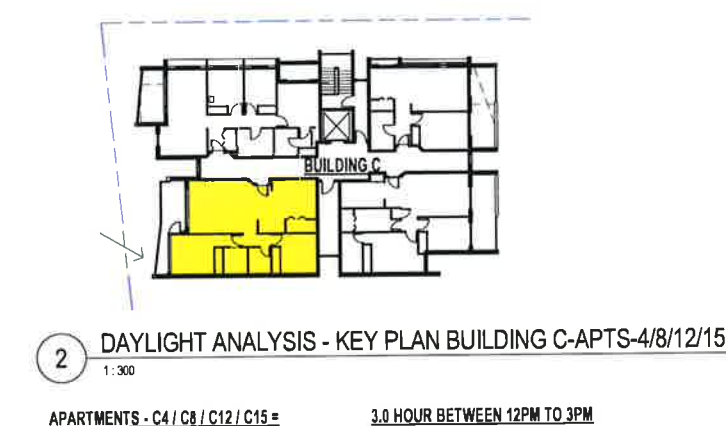
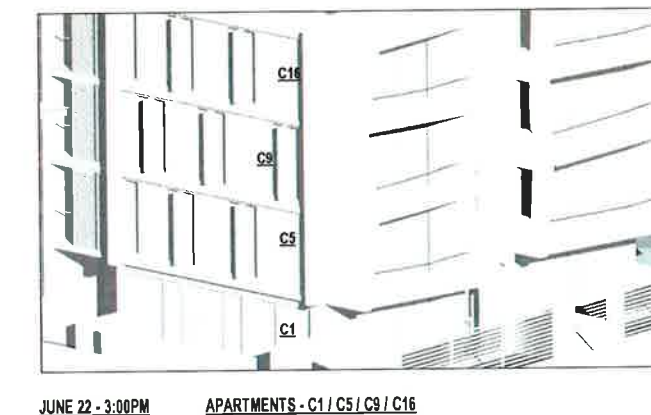
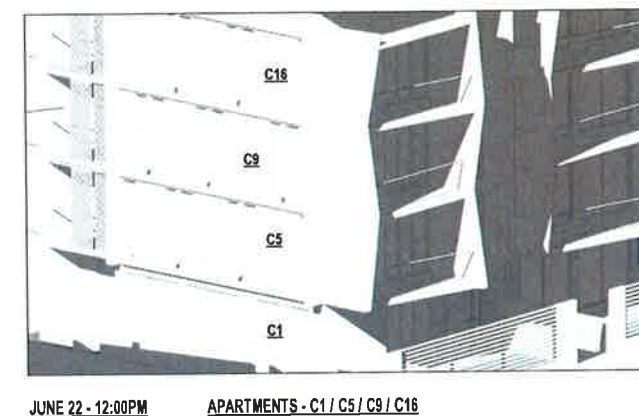
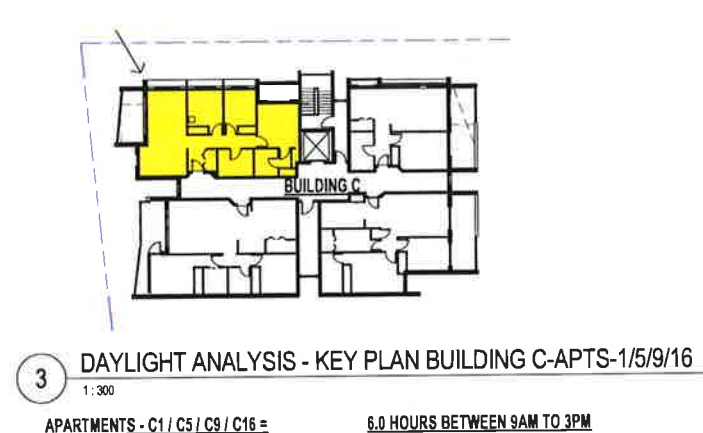
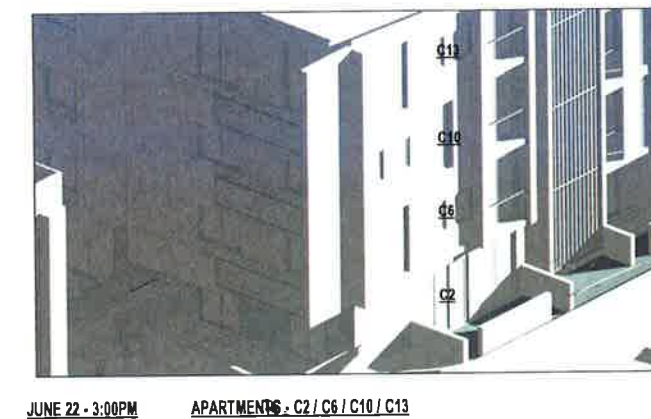
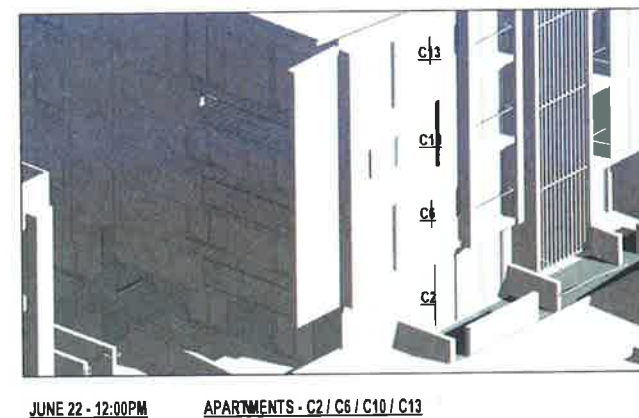
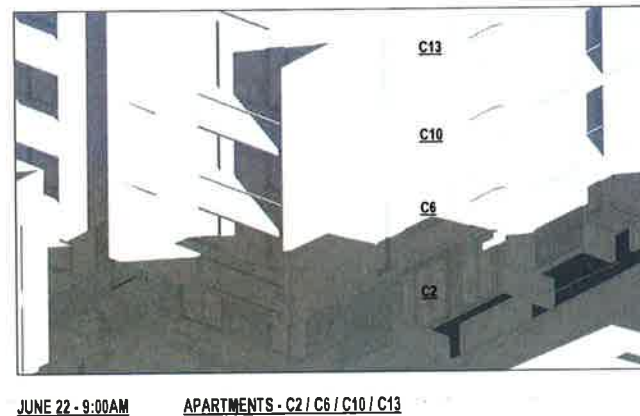
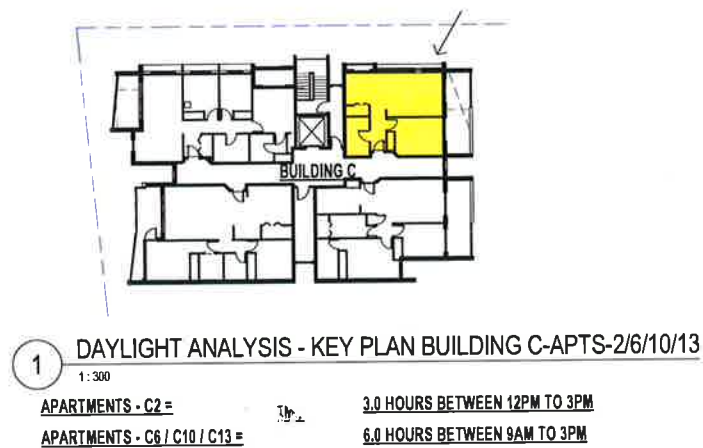


5 RYAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
ABN 19 050 545 095 A/CN 050 545 095
LEVEL 4
430 HOBART STREET
SYDNEY NSW 2009
TEL (02) 9264 5155
FAX (02) 9264 5166
EMAIL: arch@jfkash.com.au

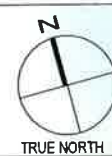
PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
BUILDING B - DAYLIGHT ACCESS -
ELEVATIONS

CHKD
Check
DATE PLOTTED
05/04/15
DRAWING No./Rev.
A-5105 B
PROJECT No.
13-23665
SCALE @A1
1:300
DOUBLE FOR A3



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Date	Description	No.
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIS COMPLIANCE	A
12/03/2015	AMENDED DA	B
06/07/2015	FOOTPATH AMENDED	C

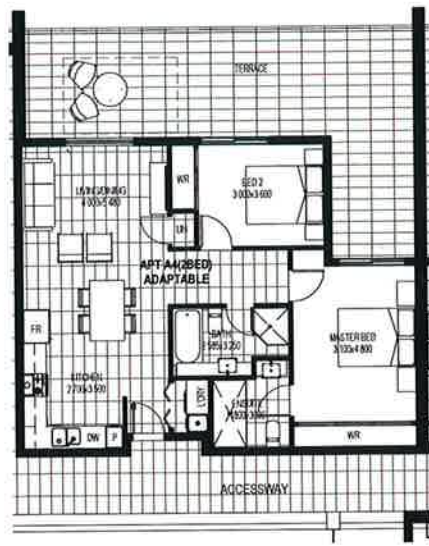


**5 RYAN AVENUE
EDMONDSON PARK, NSW**
 RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

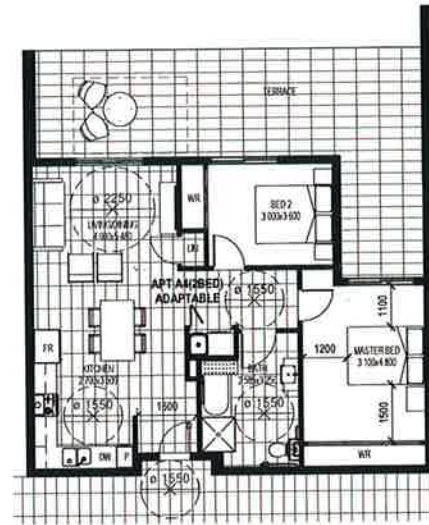
CLIENT
KMT CONSTRUCTIONS Pty Ltd
 ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
 ABN 19 251 545 095 A/CN 550 645 085
 LEVEL 4
 437 KENT STREET
 SYDNEY NSW 2000
 TEL (02) 9264 5155
 FAX (02) 9264 5166
 EMAIL: arch@jfa.com.au

PROJECT
**PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK**
 DRAWING TITLE
**BUILDING C-DAYLIGHT
ACCESS-ELEVATIONS**

CHD
JFA
 DATE PLOTTED
10/07/15
 DRAWING No / Rev
A-5106 C



1 PRE ADAPTTION - BUILDING APT.No. A4,A14,A24,A34,A44
1:100



2 POST ADAPTTION - BUILDING APT.No. A4,A14,A24,A34,A44
1:100



3 PRE ADAPTION - BUILDING B- APT. No. B3 ,B7
1:100



4 POST ADAPTION-BUILDING B- APT. No. B3, B11
1:100



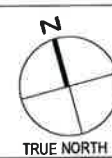
5 PRE ADAPTION - BUILDING C- APT. No.C3, C7
1:100



6 POST ADAPTION - BUILDING C - APT. No.C3, C7
1:100

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Date	Description	No.
11/07/2014	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & DRAIN COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



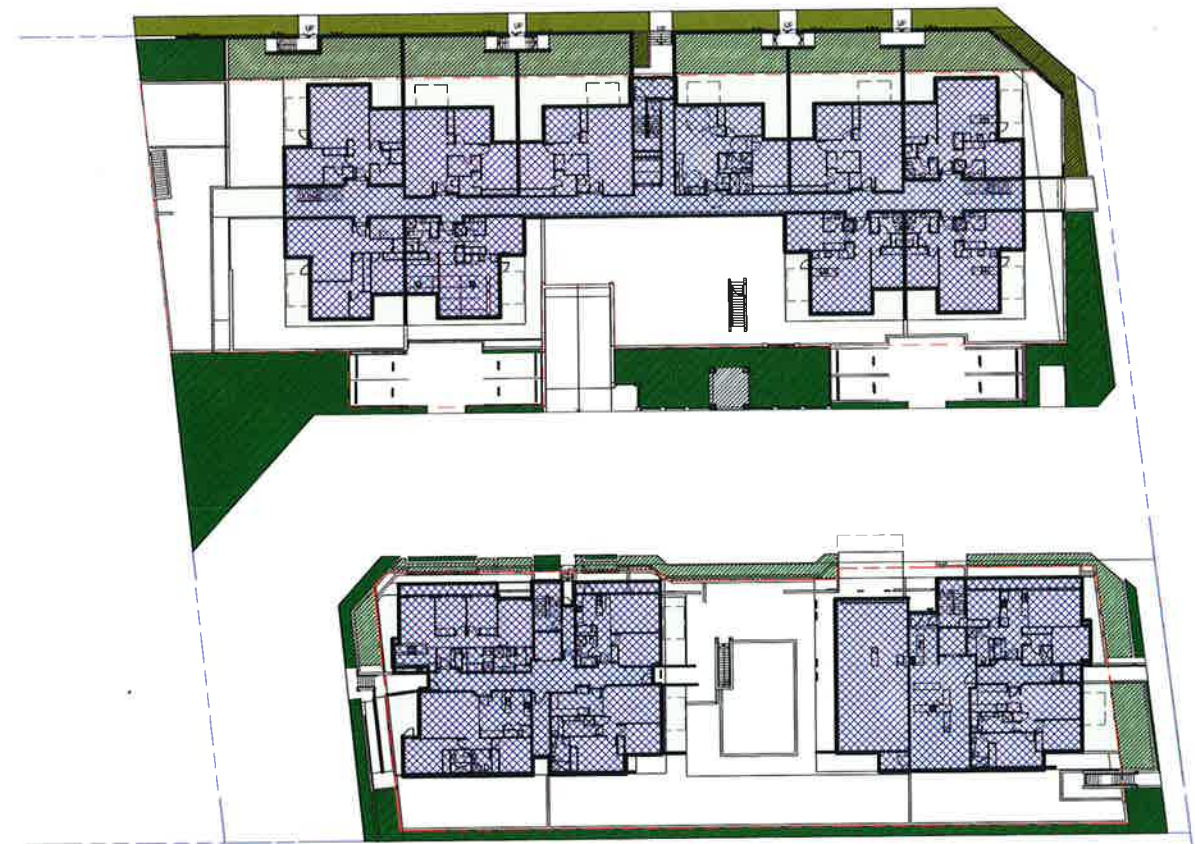
5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK	DRAWN J.F.	PROJECT NO. 13-23665
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. ABN 10 050 645 005 A.C.N. 050 645 005 LEVEL 4 400 KENT STREET SYDNEY NSW 2000 TEL (02) 9264 5155 FAX (02) 9264 5166 EMAIL architect@jarkash.com.au	DRAWING TITLE ADAPTABLE HOUSING BUILDINGS A,B&C	DATE PLOTTED 07/10/2014	SCALE @ A1 1:100 DOUBLE FOR A3
		DRAWING No / Rev	A-6102 H

C:\Users\m\Documents\13-23665_5 Rynan Ave\A6102.dwg 27/10/2015 12:38:02 PM



1 GROUND FLOOR - OPEN SPACE
TOTAL OPEN SPACE FOR BUILDING A,B & C = 2,321.92 m² (35.1%)
Open space required (25% of total site area) = 1652.7 m²



2 GROUND FLOOR - DEEP SOIL
TOTAL DEEP SOIL FOR BUILDING A,B & C = 731.31 m² (31.4%)
Deep Soil required (25% of open space)=413.2 m²

LEGEND:

	COMMON OPEN SPACE (NOT DEEP SOIL)
	COMMON OPEN SPACE (DEEP SOIL)
	PRIVATE OPEN SPACE (NOT DEEP SOIL)
	PRIVATE OPEN SPACE (DEEP SOIL)
	NEW PLANTING
	NEW FURNITURE

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
18/07/2014	PRELIMINARY ISSUE	C
29/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
10/07/2015	DEEP SOIL AREA UPDATED	H

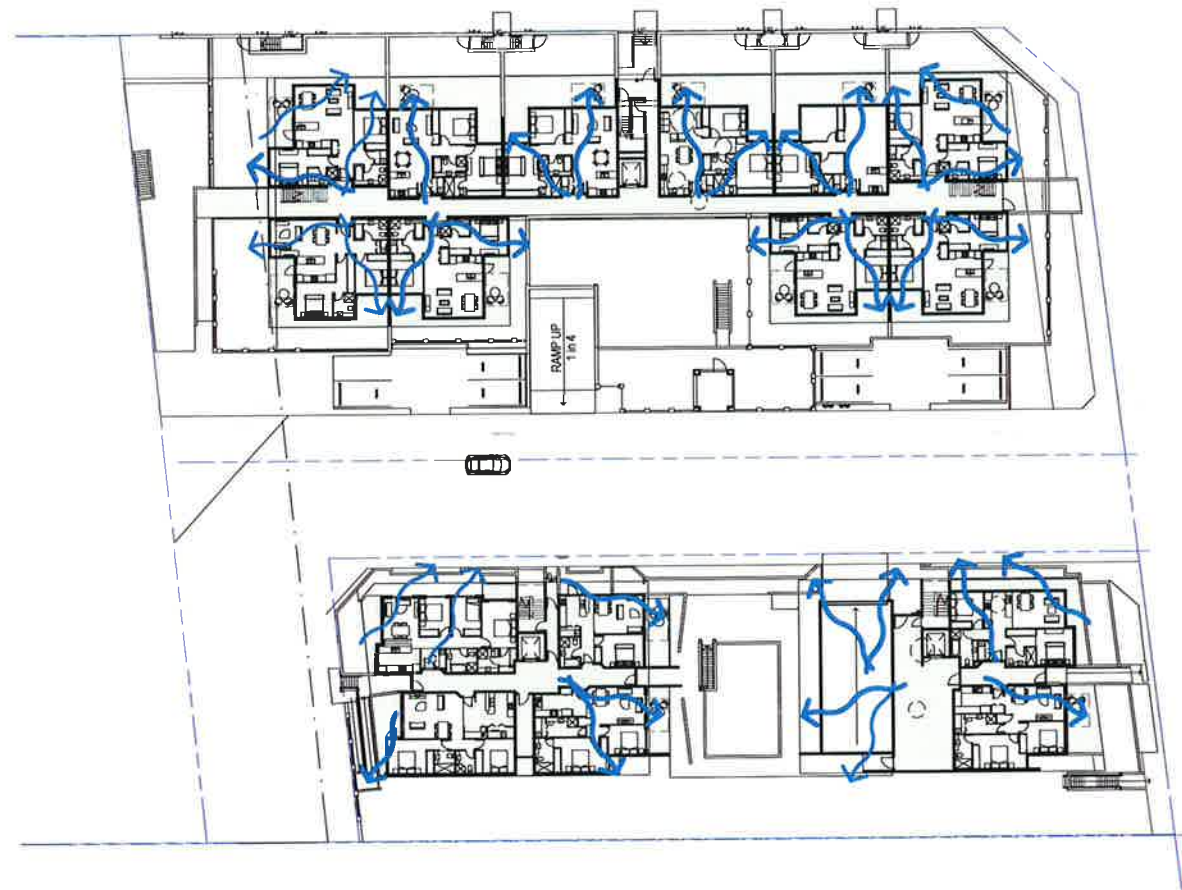


5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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SYDNEY NSW 2000
TEL: (02) 92645155
FAX: (02) 92645166
EMAIL: architects@farkash.com.au

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
OPEN SPACE & DEEP SOIL
CALCULATIONS

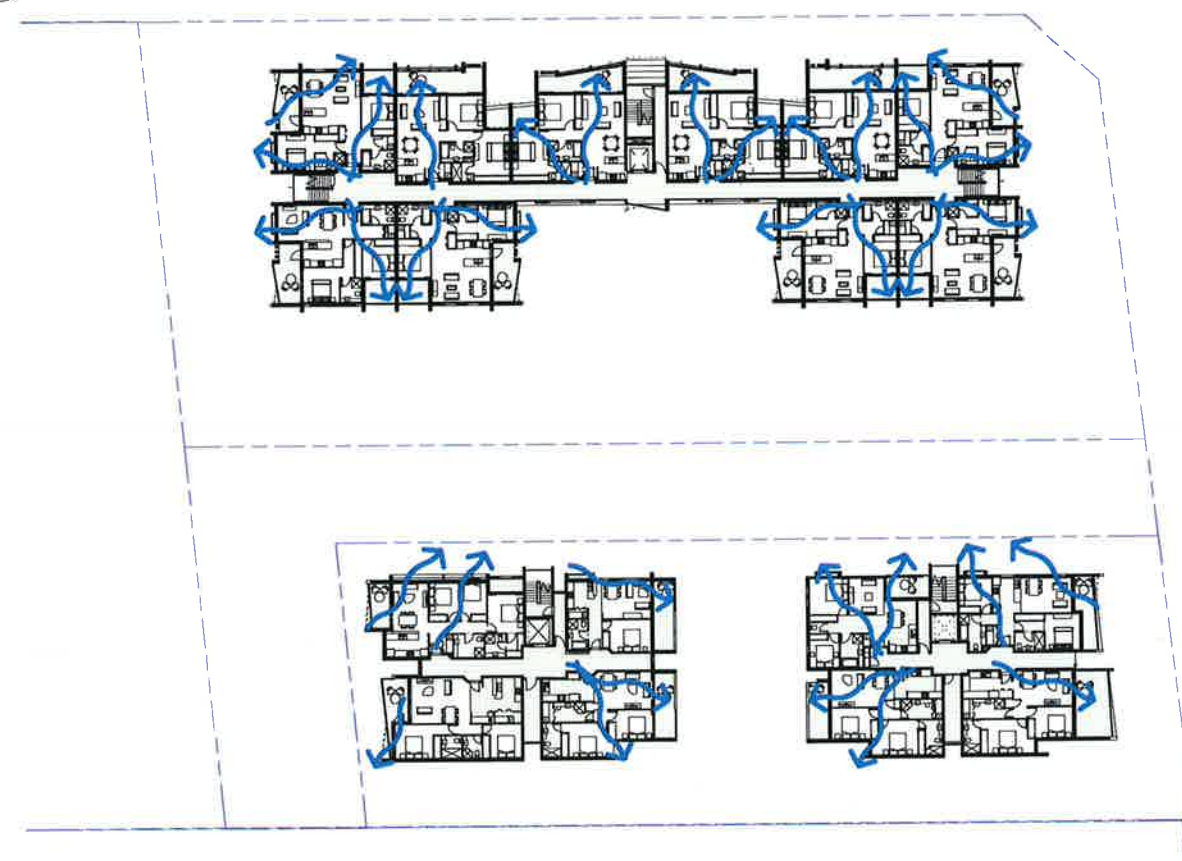
DATE 27/4/2015	SCALE 1:300 DOUBLE FOR A3	PROJECT NO. 13-23665
DRAWING No / Rev.		
A-7101		H



1 GROUND FLOOR - CROSS VENTILATION
1:350



3 LEVEL 1 - CROSS VENTILATION
1:350



2 LEVEL 2 - CROSS VENTILATION
1:350



4 LEVEL 3 - CROSS VENTILATION
1:350

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
18/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/08/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



5 RYMAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

CLIENT
KMT CONSTRUCTIONS Pty Ltd
ARCHITECT
JOSHUA FARKASH & ASSOCIATES PTY. LTD.
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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
CROSS VENTILATION

CHN'D TS	DRAWN ML	PROJECT No. 13-23665
DATE PLOTTED 10/07/15	SCALE @A1 1:350 DOUBLE FOR A3	DRAWING No. / Rev. A-8101 H



**5 RYNAN AVENUE
EDMONDSON PARK , NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT**

CLIENT:
KMT CONSTRUCTIONS Pty Ltd

ARCHITECT
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432 KENT STREET
SYDNEY NSW 2000
TEL (02) 9264 5155
FAX (02) 9264 5166
EMAIL architect@joshfarkash.com.au

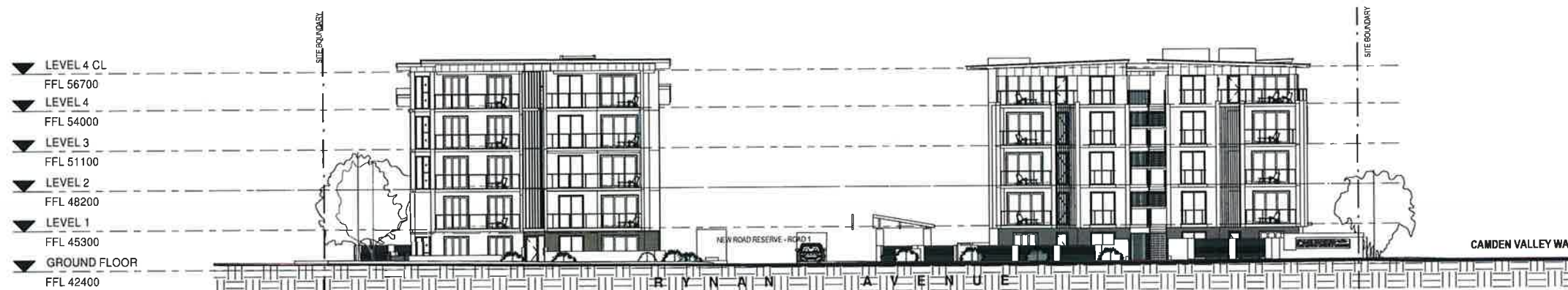
**PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK**

TD.	DRAWING TITLE
155	CROSS VENTILATION

CHKT TS	DRAWN K.A.	PROJECT No. 13-23665
DATE PLOTTED 10/07/15		SCALE @A1 1:350 DOUBLE F FOR A3
DRAWING No. / Rev. A-8102 H		



1 **STREETSCAPE ELEVATION - CAMDEN VALLEY WAY**
1:200



2 **STREETSCAPE ELEVATION - RYNAN AVE**
1:200

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Date	Description	No.
4/9/14	PRELIMINARY ISSUE	A
11/9/2014	PRELIMINARY ISSUE	B
16/9/2014	PRELIMINARY ISSUE	C
22/9/2014	PRELIMINARY ISSUE	D
28/9/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
28/9/2014	ISSUED FOR DA	F
12/05/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK
DRAWING TITLE
STREETSCAPE ELEVATIONS

DATE PLOTTED 10/07/15	SCALE @A1 1:200 DOUBLE FOR A3	DRAWING No / Rev A-9101 H
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VIEW FROM CAMDEN VALLEY WAY FACING TO SOUTH-WEST WITH BUILDING A TO RHS & BUILDING B TO LHS



VIEW FROM BUILDING A FACING SOUTH-WEST TO BUILDING B (LHS) AND C (RHS)



VIEW FROM RYNAN AVENUE - FACING TO SOUTH WITH BUILDING A TO RHS, BUILDING B TO LHS & BUILDING C IN CENTRE

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
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22/07/2014	PRELIMINARY ISSUE	D
26/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/08/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H

5 RYNAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK
 DRAWING TITLE
3D PHOTOMONTAGES

DATE PLOTTED 10/07/15	SCALE @A1 DOUBLE FOR A3	PROJECT NO. 13-23665
DRAWING NO. / Rev.		A-10101 H

LEGEND:

-  COMMUNAL OPEN SPACE (NOT DEEP SOIL)
-  COMMUNAL OPEN SPACE (DEEP SOIL)
-  PRIVATE OPEN SPACE (NOT DEEP SOIL)
-  PRIVATE OPEN SPACE (DEEP SOIL)
-  NEW FOOTPATHS
-  NEW ROADWAY

CAMDEN VALLEY WAY

BUILDING A

NEW ROAD RESERVE - ROAD 1

BUILDING C

BUILDING B

RYNAN AVENUE

1

NOTIFICATION PLAN

1:200

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Date	Description	No.
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25/09/2014	ISSUED FOR DA	B
12/03/2015	AMENDED DA	C
06/07/2015	FOOTPATH AMENDED	D



5 RYNAN AVENUE
EDMONDSON PARK, NSW

RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

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PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYNAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
NOTIFICATION PLANS

DATE PLOTTED
10/07/15

SCALE @A1
1:200
DOUBLE FOR A3

DRAWING No. / Rev.

A-11101D

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13/07/2015 12:30:03 PM



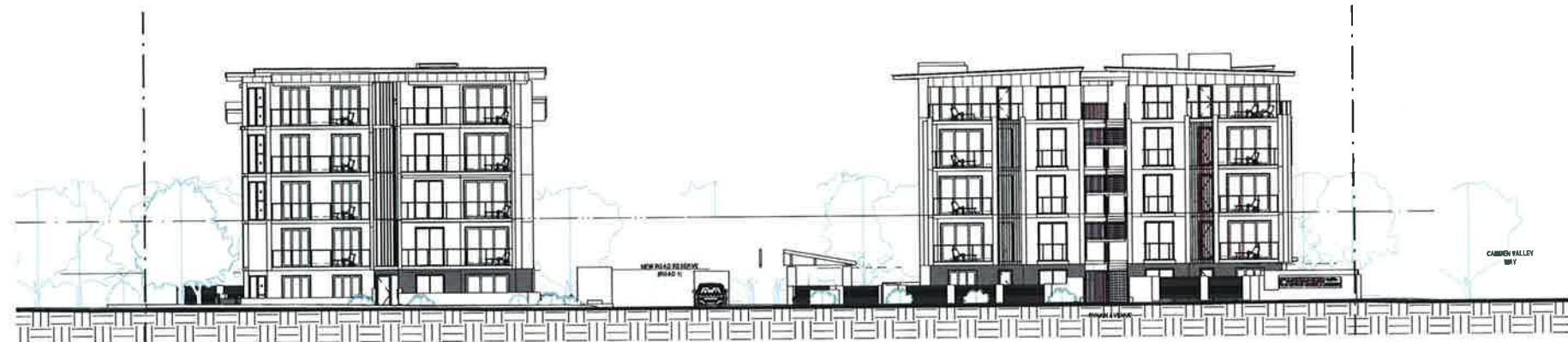
1 NOTIFICATION PLANS - SHADOW DIAGRAM 22 JUNE 9AM
1:500



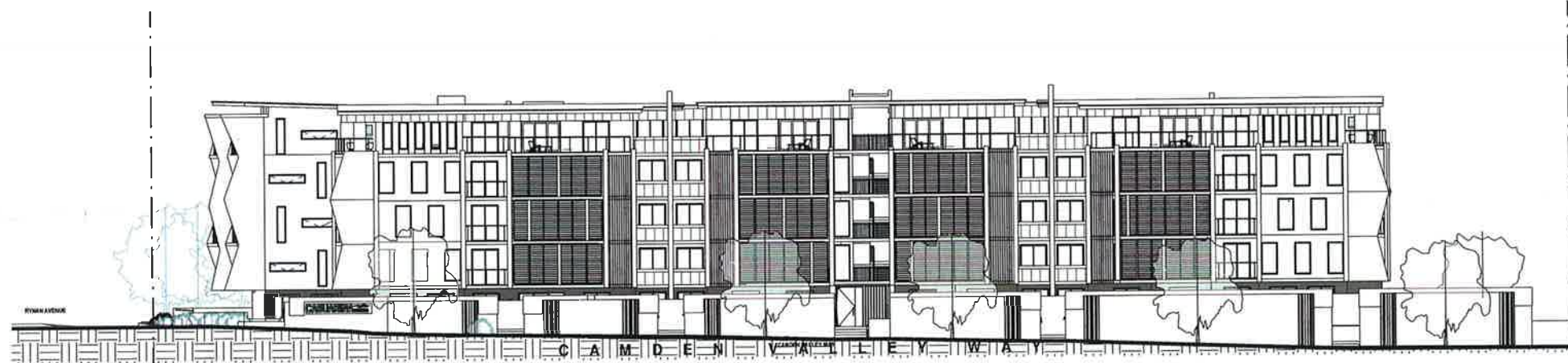
3 NOTIFICATION PLANS - SHADOW DIAGRAM 22 JUNE 3PM
1:500



2 NOTIFICATION PLANS - SHADOW DIAGRAM 22 JUNE 12PM
1:500



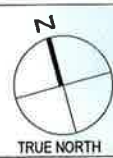
4 NOTIFICATION PLANS - STREETSCAPE ELEVATION - RYMAN AVE
1:200



5 NOTIFICATION PLANS - STREETSCAPE ELEVATION - CAMDEN VALLEY WAY
1:200

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Date	Description	No.
4/01/14	PRELIMINARY ISSUE	A
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06/07/2015	FOOTPATH AMENDED	D



5 RYMAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

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PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
NOTIFICATION PLANS

CHD
TS
K.A.
PROJECT No.
13-23665

DATE PLOTTED
10/07/15
SCALE @A1
As indicated
DOUBLE FOR A3

DRAWING No./Rev.
A-11102D



EXTERNAL COLOURS AND FINISHES - BUILDING A



A FACE BRICK COLOUR

GROUND FLOOR WALLS GENERALLY
BOWRAL "BRAHMAN GRANITE" BRICKS



B METAL CLADDING

UPPER LEVEL FEATURE WALLS
PRE-FINISHED METAL CLADDING PANELS
COLORBOND "SKYBRIDGE"



C EXTERNAL PAINT
FINISH

MID-LEVEL WALLS & FENCE GENERALLY
RENDER & PAINT FINISH
DULUX WHITE HAVEN



D POWDERCOAT FINISH

TOP LEVEL WALLING
PAINTED FIBRE CEMENT
COLORBOND "CONSERVATORY BRONZE"



E METAL CLADDING

BUILDING A - LEVEL 4 WALLS & METALWORK
VERTICAL PRE-METAL CLADDING PANEL
COLORBOND "MANGROVE"



F FACE STONE COLOUR

FENCE CAPPING
ASHLAR SANDSTONE FACING



G POWDERCOAT FINISH

UPPER LEVEL FEATURE WALLS
POWERCOATED METAL CLADDING
COLORBOND "MANOR RED"



H EXTERNAL PAINT
FINISH

VERTICAL ACCENTS
RENDER & PAINT FINISH
DULUX "DAIRY MADE"



I EXTERNAL PAINT
FINISH

VERTICAL ACCENTS
RENDER & PAINT FINISH
DULUX "SPRING ONION"



EXTERNAL COLOURS AND FINISHES - BUILDING B&C

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
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12/03/2015	AMENDED DA	G

5 RYAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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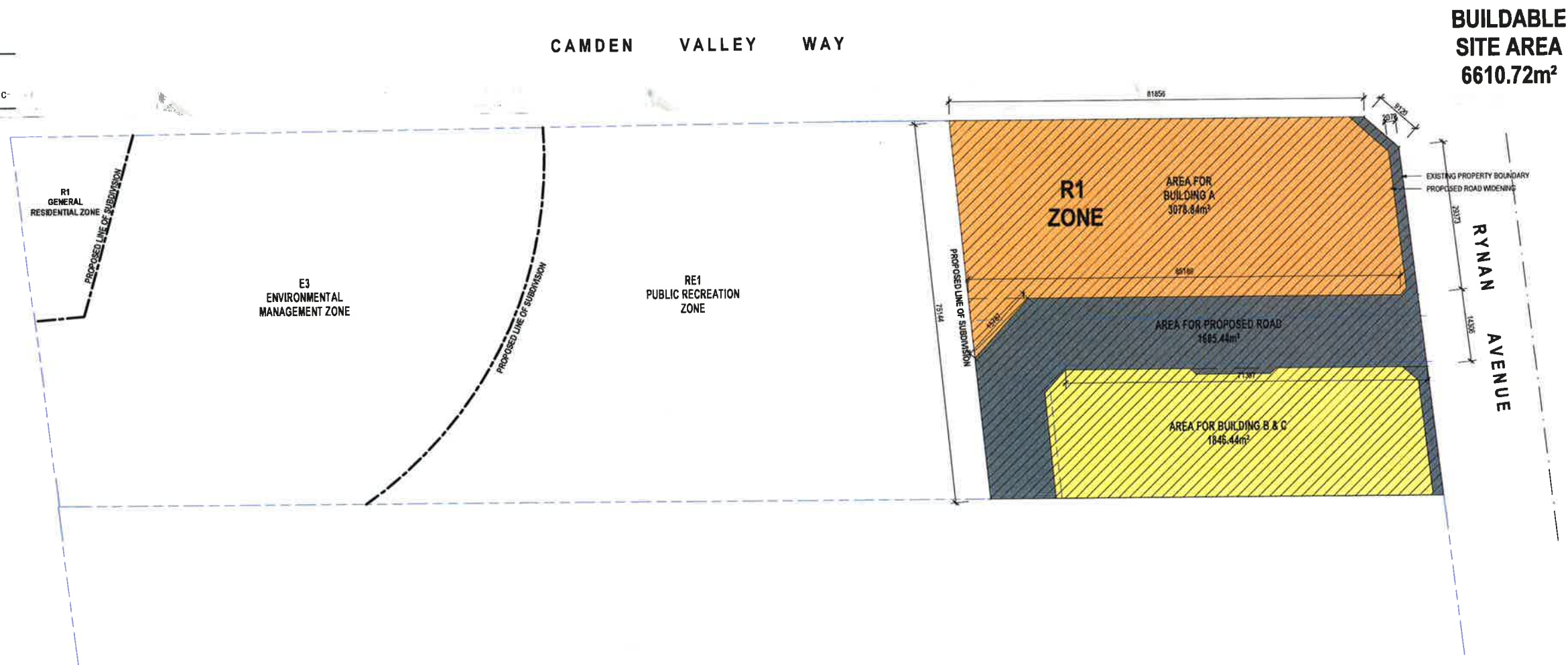
PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYAN AVENUE,
EDMONDSON PARK

DRAWING TITLE
EXTERNAL COLOURS & FINISHES

COORD JF	DRAWN K.A.	PROJECT No. 13-23665
DATE PLOTTED 07/10/2014	SCALE @A1 DOUBLE FOR A3	DRAWING No./Rev. A-12101 G

LEGEND:

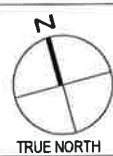
- AREA FOR BUILDING A
- AREA FOR NEW ROAD
- AREA FOR BUILDING B & C



1 SITE PLAN - SUBDIVISION
1:500

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4/6/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
28/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIC COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F
12/03/2015	AMENDED DA	G
06/07/2015	FOOTPATH AMENDED	H



5 RYMAN AVENUE
EDMONDSON PARK, NSW
MULTI-UNIT RESIDENTIAL DEVELOPMENT

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PROJECT:
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK

DRAWING TITLE:
SITE PLAN - SUBDIVISION

CHD	DRAWN	PROJECT No.
Checker	Author	13-23665
DATE PLOTTED	SCALE	
07/21/14	SCALE @A1 1:500 DOUBLE FOR A3	
DRAWING No / Rev		
SP01		H